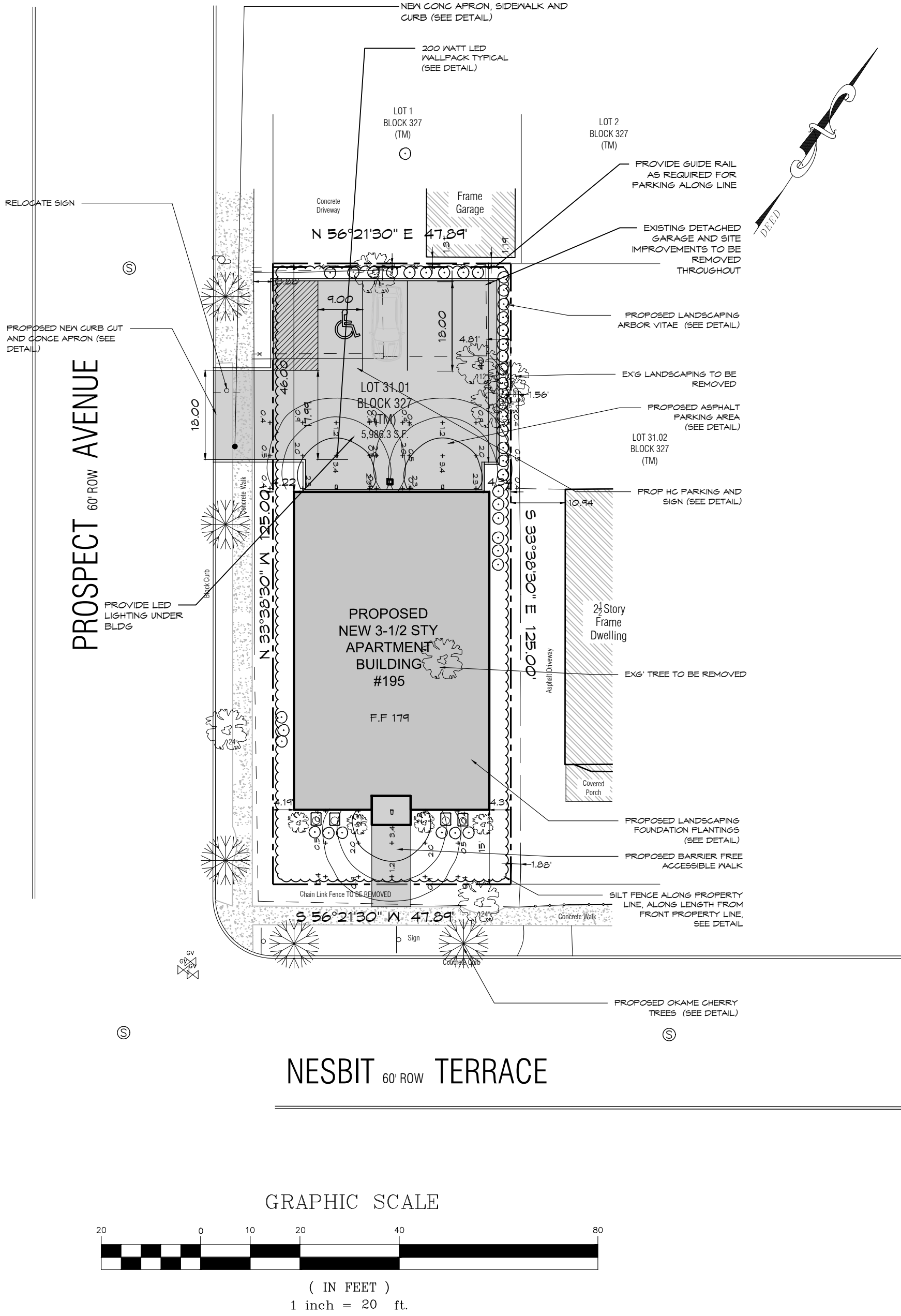
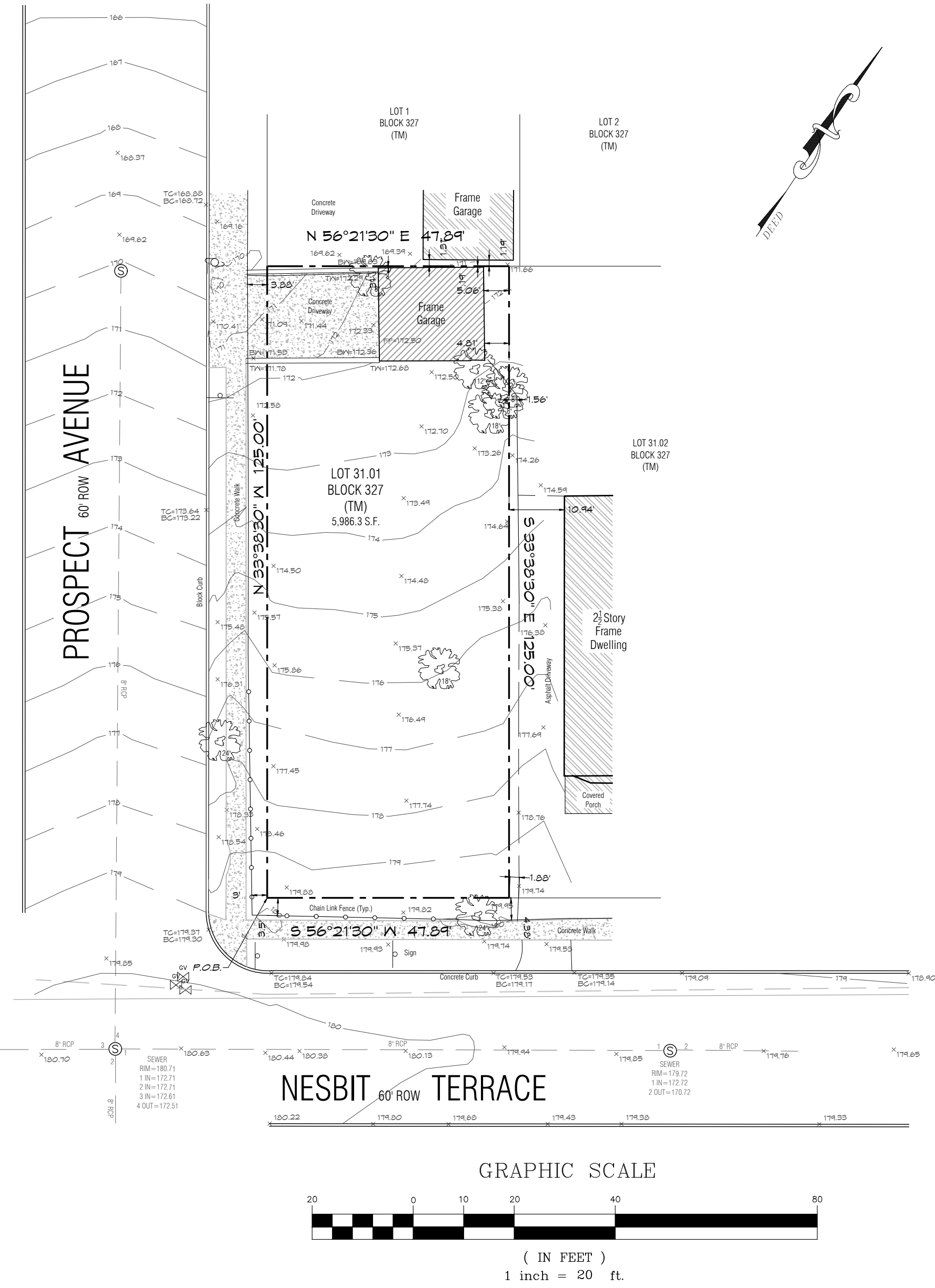
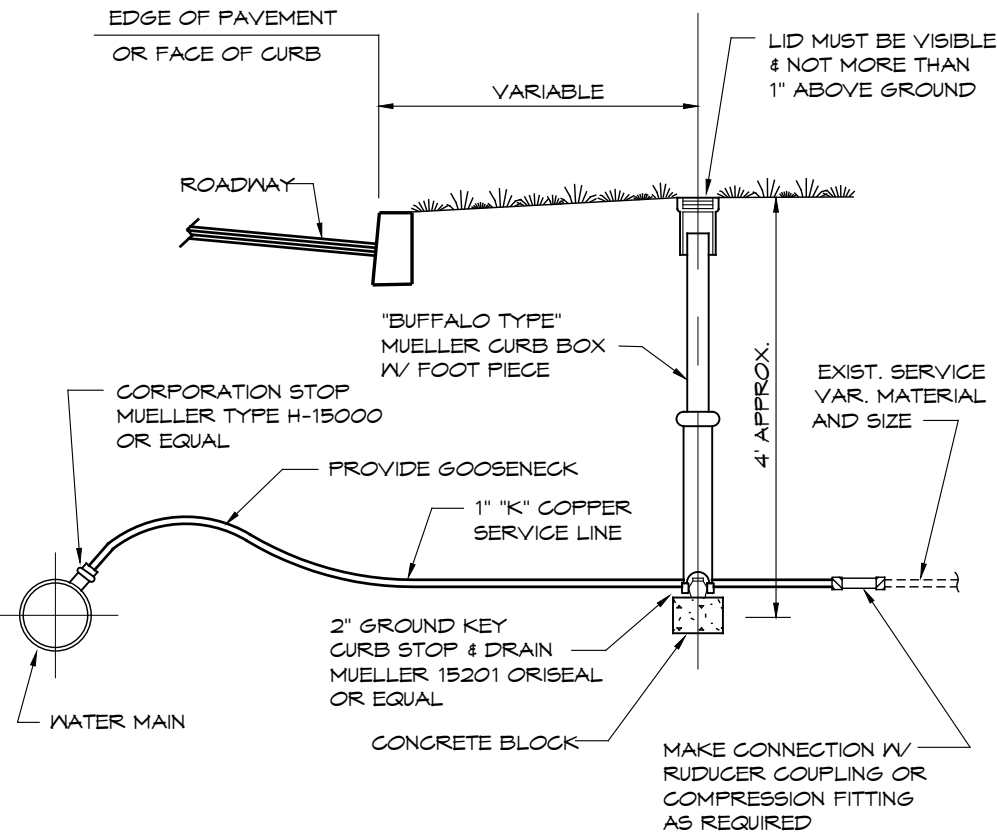
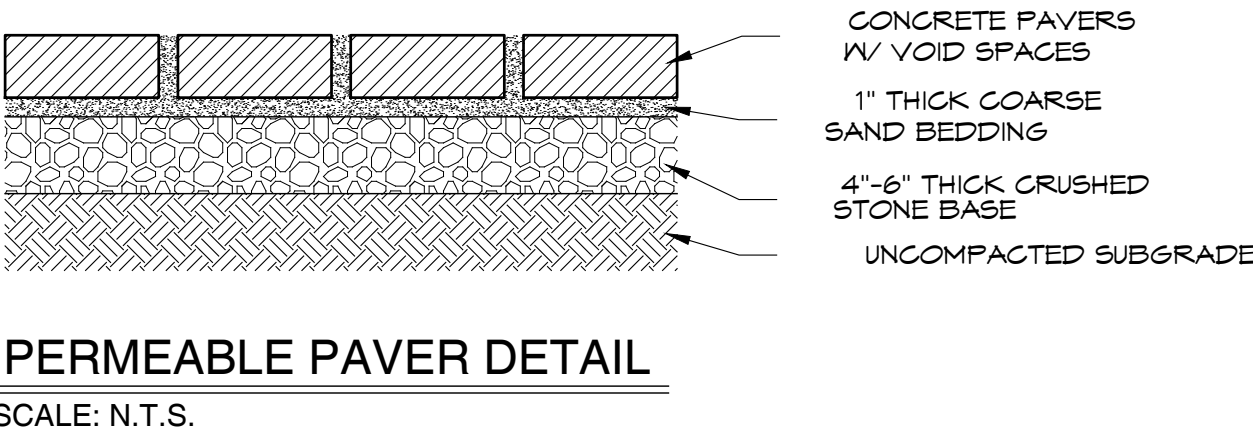
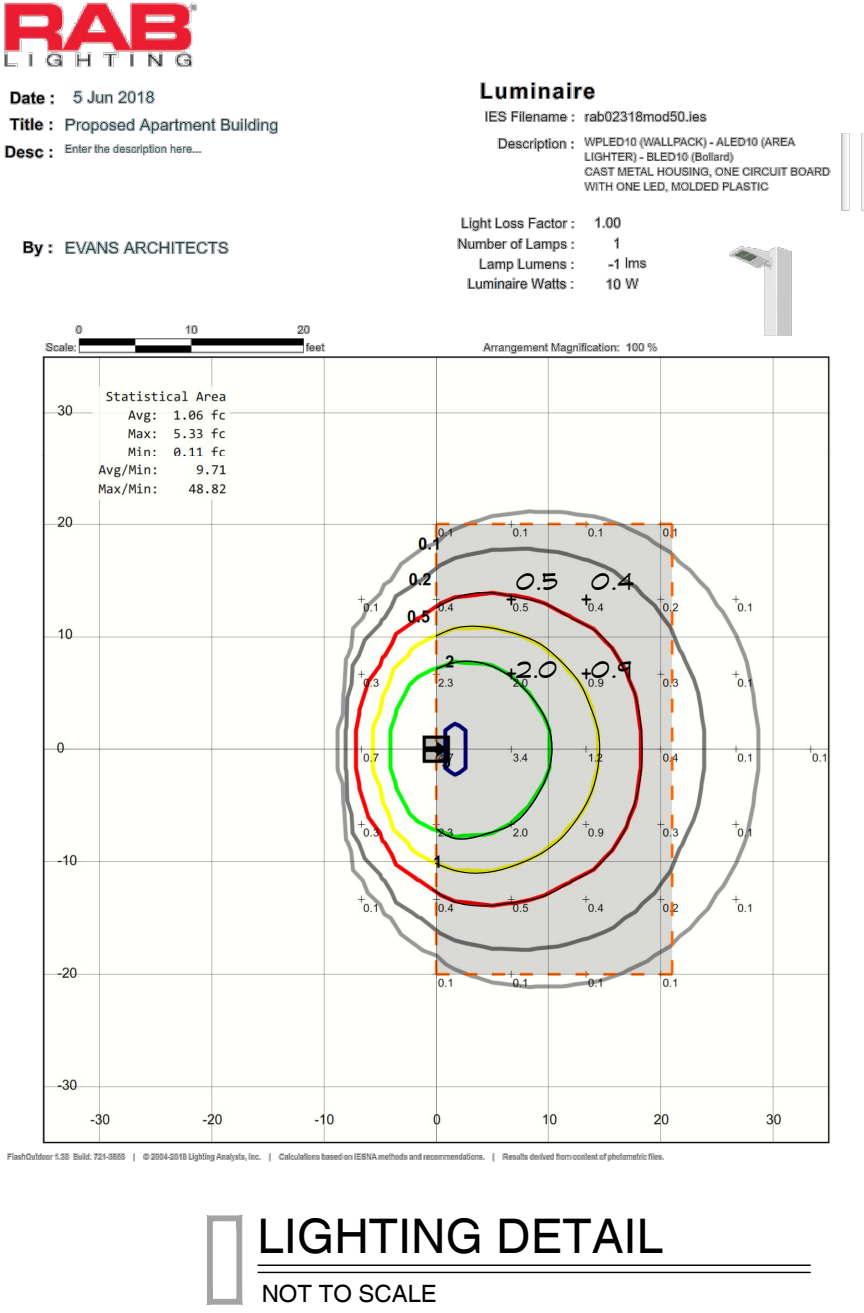


ZONING ORDINANCE DATA				
ZONE: R-2		LOT : 31.01		BLOCK: 327
	REQUIRED	REQUIRED	PROPOSED	VARIANCE
USE	R-2	R-3	R-3	YES
MINIMUM LOT AREA	2,000 SF/ UNIT	1,500 SF/ UNIT	5,986.3 (-13.7)	YES
MINIMUM LOT WIDTH	60'	58'	47.89'	YES
MINIMUM FRONT YARD SETBACK	15'	15'	15'	
MINIMUM SIDE SETBACK (PROSPECT)	15'	15'	4.19'	YES
MINIMUM SIDE SETBACK	5'	10'	4.31'	YES
MINIMUM REAR SETBACK	15'	15'	46'	
MAXIMUM BUILDING HEIGHT (FEET)	35'	35'	34'-2" AV'G.	
MAXIMUM BUILDING HEIGHT (STY)	2-1/2	2-1/2	2-1/2	
MAXIMUM BUILDING COVERAGE	60 %	52%	41%	
MAXIMUM IMPERVIOUS LOT COVERAGE	60 %	70%	75%	YES
UPA	20	26	26	
MINIMUM PARKING SPACES	4 SPACES	4 SPACES	4 SPACES	
1 x 4 TWO BEDRM = 4				
TOTAL PARKING = 8				



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PROPOSED 4 UNIT APARTMENT

FOR:

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195 NESBIT TERRACE

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DRW BY: DATE

MGE 12-2-21

REV

COMMENT

SITE PLAN / NOTES

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R.A. NJ 13803-R.A. NY 26125

P.P. NJ 5662

SHEET NUMBER

S-1

(To be included on the signed erosion control plan sheet)

- <http://hepsoilnj.org>
HEPSCD251SESCNOTES_7THEDREV2017

SOIL MANAGEMENT NOTE:
ACCORDING TO STATE OF NEW JERSEY LAND USE CLASSIFICATION SYSTEM,
THE SITE IS UNDER URBAN REDEVELOPMENT AREA, LAND USE CODE 1,110.
THEFORE, THE PROPOSED PROJECT DOES NOT REQUIRE COMPACTION
REMEDATION, AS PER EXEMPTION #6 UNDER SOIL MANAGEMENT AND
PREPARATION STANDARDS FOR SOIL AND SEDIMENT CONTROL IN NEW
JERSEY.

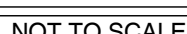


STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS. MAINTENANCE MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND

NOT TO SCALE

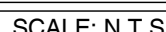


NOT TO SCALE



1. MULCHES - USE STANDARD OF STABILIZATION WITH MULCHES ONLY. PG. 5-1
2. VEGETATIVE COVER - USE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
3. CHEMICAL CEMENTATION OF SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
4. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED ONLY WHEN THE SURFACE HAS BEEN PLACING ON WINDWARD SIDE OF SITE. CHISEL-TYPE FLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
5. SPRINKLING - TO PREVENT CRACKING THE SURFACE IS WET.
6. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL LOSS.
7. CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOSTLY WET WITHOUT CAUSING ANY APPRECIABLE DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
8. STONE COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

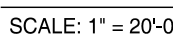
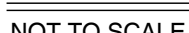
1. GENERAL CONTRACTOR & SUBCONTRACTORS SHALL INSPECT PREMISES & VERIFY ALL EXISTING CONDITIONS IN FIELD & IN RELATION TO PROPOSED WORK & NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO BEGINNING WORK.
2. ALL SITES IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CODES, SPECIFICATIONS & REQUIREMENTS OF THE MUNICIPALITY & ALL APPLICABLE STATE CODES.
3. ALL UTILITY CONNECTIONS, INSTALLATIONS & RELATED WORK SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY SUPPLIERS.
4. LOCATE & VERIFY EXISTING UNDERGROUND & ABOVEGROUND UTILITY LINES WHICH MAY REQUIRE REMOVAL OR RELOCATION.
5. USE AERIAL PHOTOGRAPHY, SURVEY DATA, AS REFERENCED HEREIN, TO VERIFY DATA ON SITE PLANS INCLUDING METES-&BOUNDS & BUILDING SETBACKS.
6. GRADES & ELEVATIONS ARE APPROXIMATE & SHALL BE VERIFIED ON SITE.
7. SITE SHALL BE CLEARED & CLEANED OF DEBRIS & GARBAGE & DISPOSED OF IN A LEGAL MANNER UPON COMPLETION OF WORK, & AS REQUIRED DURING WORK & PRIOR TO BEGINNING WORK.
8. ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE GENERAL CONTRACTOR FOR BUILDING, DEMOLITION & OTHER WORK REQUIRED FOR THE PREPARATION OF THE SITE FOR THE PROPOSED WORK.
9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE PREMISES SECURED DURING ALL PHASES OF CONSTRUCTION.
10. ALL GRADE SHOWN ON THE PLANS ARE APPROXIMATE & SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO BEGINNING WORK & WHO SHALL DETERMINE IF DISCREPANCIES EXIST BETWEEN FINISHED FLOOR ELEVATIONS PROPOSED & ACTUAL GRADES IN THE FIELD. GENERAL CONTRACTOR SHALL RETAIN A LICENSED LAND SURVEYOR TO VERIFY EXISTING GRADES & PROPOSED FLOOR ELEVATIONS. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO BEGINNING WORK.
11. GENERAL CONTRACTOR, PRIOR TO COMMENCING WORK, SHALL VERIFY EXISTING UTILITY LINES & CONDITIONS IN FIELD & SHALL CONFER WITH THE MUNICIPAL ENGINEER, UTILITY SUPPLIERS & APPLICABLE GOVERNMENTAL AGENCIES TO INSURE THAT THE PROPOSED WORK BE INSTALLED IN ACCORDANCE TO GOVERNING CODES, STANDARDS, REQUIREMENTS & SPECIFICATIONS OF THE RESPECTIVE AUTHORITIES.
12. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF HE ENCOUNTERS UNDERGROUND CONDITIONS DURING EXCAVATION INCLUDING UTILITY LINES, TREE ROOTS ETC. THAT EMANATE FROM THE PROPOSED PROJECT. NOTIFY ARCHITECT IMMEDIATELY.
13. GENERAL CONTRACTOR SHALL FURNISH, INSTALL & MAINTAIN SHEET PILES, BRACING, SHORING & MISCELLANEOUS EQUIPMENT TO SUPPORT & PREVENT MOVEMENT OF EARTH WHICH COULD INJURE PERSONS AT THE SITE & ENDANGER ADJACENT STRUCTURES, TANKS, UTILITIES, ETC.
14. CONTRACTOR SHALL CONFER WITH THE MUNICIPAL ENGINEER OR CONSTRUCTION OFFICIAL ANY METHODS REQUIRED FOR SOIL STABILIZATION.
15. GENERAL CONTRACTOR SHALL INSTALL & MAINTAIN ALL TEMPORARY FENCES, GUARDRAILS, WARNING & OTHER SIGNS, LIGHTING & SAFEGUARDS AS REQUIRED AROUND ALL EXCAVATIONS, OPENINGS & SIMILAR CONDITIONS. ALL SHALL COMPLY WITH "OSHA" STANDARDS & THE REQUIREMENTS OF THE OWNER & MUNICIPAL REQUIREMENTS.
16. GENERAL CONTRACTOR SHALL PROVIDE, INSTALL, MAINTAIN & OPERATE PUMPS, Sumps & OTHER APPROVED EQUIPMENT & METHODS TO KEEP EXCAVATIONS FREE FROM WATER & KEEP THEM PROTECTED FROM INTERFERENCE BY WATER DURING ALL PHASES OF CONSTRUCTION.
17. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ALL PRE-EXISTING FOUNDATIONS, FOOTINGS & PILL ENCOUNTERED AT THE SITE PRIOR TO BEGINNING ANY WORK.



- NOT TO SCALE

1. INSTALL INLET FILTERS ON EXISTING INLETS AS REQUIRED. (7 DAY)
2. INSTALL SILT FENCE, CONSTRUCTION ENTRANCE, AND SILT


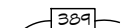
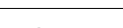

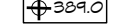
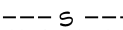

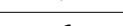
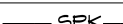
4. PERFORM DEMOLITION. (14 DAYS)
5. ROUGH GRADING AND TEMPORARY SEEDING. (21 DAYS)
6. CONSTRUCT CONDUIT AND STORM FILING. (21 DAYS)
7. CONSTRUCT INLET PROTECTION AND STORM FILING. (21 DAYS)
8. BUILDING AND SITE CONSTRUCTION. N/A (2 MONTHS)
9. SOIL COMPACTION TESTING AND/OR SUBSOIL COMPACTION REMEDIATION. (2 DAYS)
10. TOPSOIL AND FINAL GRADING OF LOT. (3 DAYS)
11. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", FIRMED IN PLACE.
12. LANDSCAPING IMPROVEMENTS AND FINAL SEEDING. (7 DAYS)
13. PERMANENT STABILIZATION. (13 DAYS)
14. REPAIR SILT FENCE AND SOIL EROSION MEASURES. (2 DAYS)
15. INSTALL K SALT SAND AND CONDUIT OUTLET PROTECTION TO AVOID CONTAMINATION OF SAND DURING ITS USE AS A DRAINAGE MECHANISM.
16. TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH MUNICIPALITY AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.
17. ALL BASINS MUST BE PROPERLY CONSTRUCTED AND BASIN SOILS MUST BE PROPERLY STABILIZED PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.






1. THE CONTRACTOR IS REQUIRED TO REVIEW

1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE CONTRACT.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE TO HAVE THE SHORING DESIGNED BY A LICENSED PROFESSIONAL ENGINEER AND OBTAIN ANY NECESSARY PERMITS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND FILLED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR Dewatering DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING STRUCTURE TO BE DEMOLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND NECESSARY TASKS NEEDED TO COMPLETE THE SAID IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE EXISTING UTILITIES AND STRUCTURES TO BE DEMOLISHED.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED, BEFORE THE START OF ANY DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS. DURING THE DEMOLITION OF ANY STRUCTURE, ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND PROPERLY ACCORDING TO THE CITY OF CHICAGO BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CORROBORATE THAT ALL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE PROPERLY MANAGED AND DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DEMOLITION AND DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

LEGEND	
	EXISTING LAND CONTOURS
	PROPOSED LAND CONTOURS
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS
	SEWER LINE
	WATER LINE
	ELECTRIC LINE
	GAS LINE
	SPRINKLER LINE

SOIL EROSION LEGEND	
	SILT BARRIER
	PAVING
	STABILIZED CONSTRUCTION ENTRANCE

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[illegible]

THEW G. EVANS	SHE
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ARCHITECT • PLANNER	NUMBER
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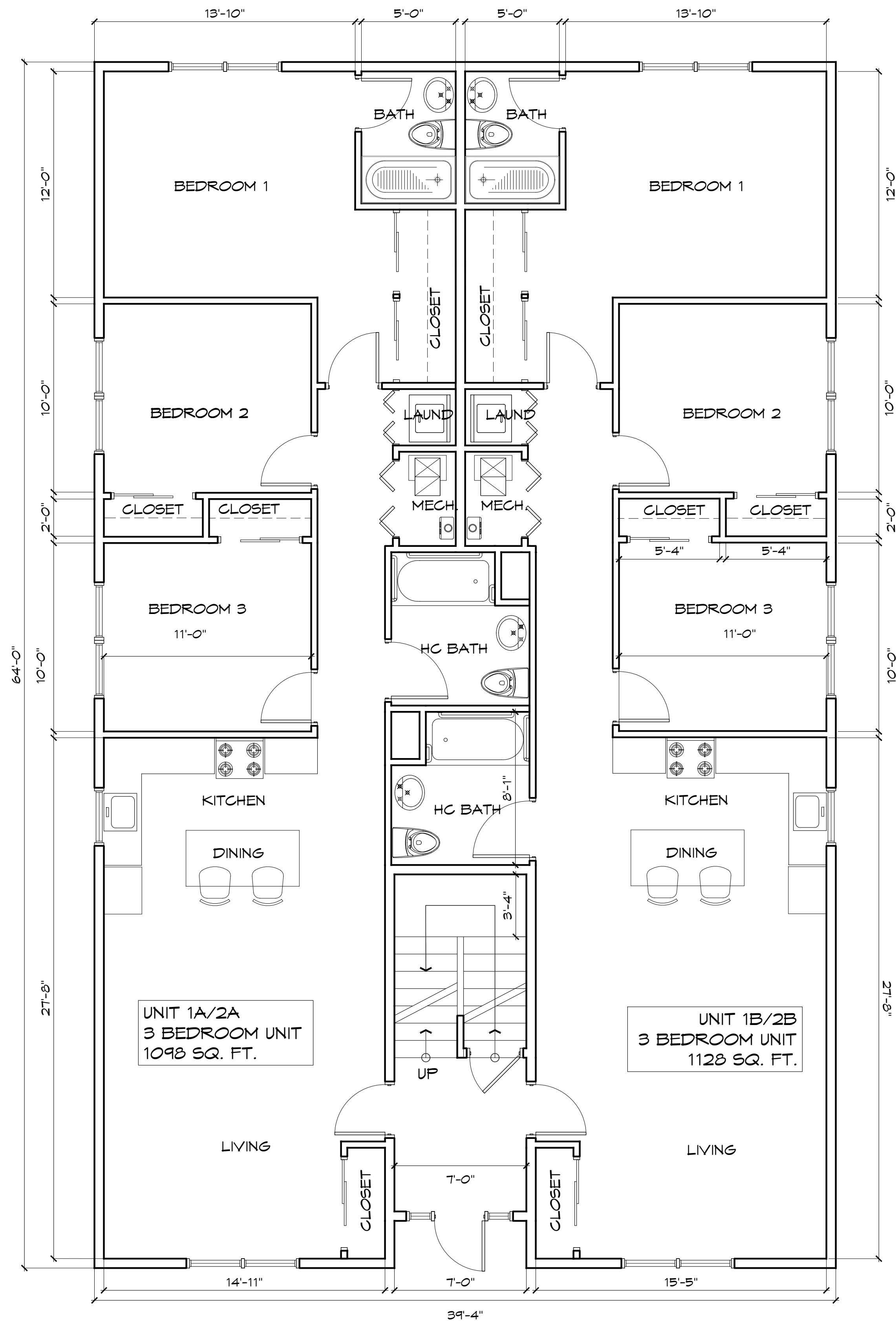
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11/10/2019

WU

P.P. NJ. 5662

S-2



FIRST AND SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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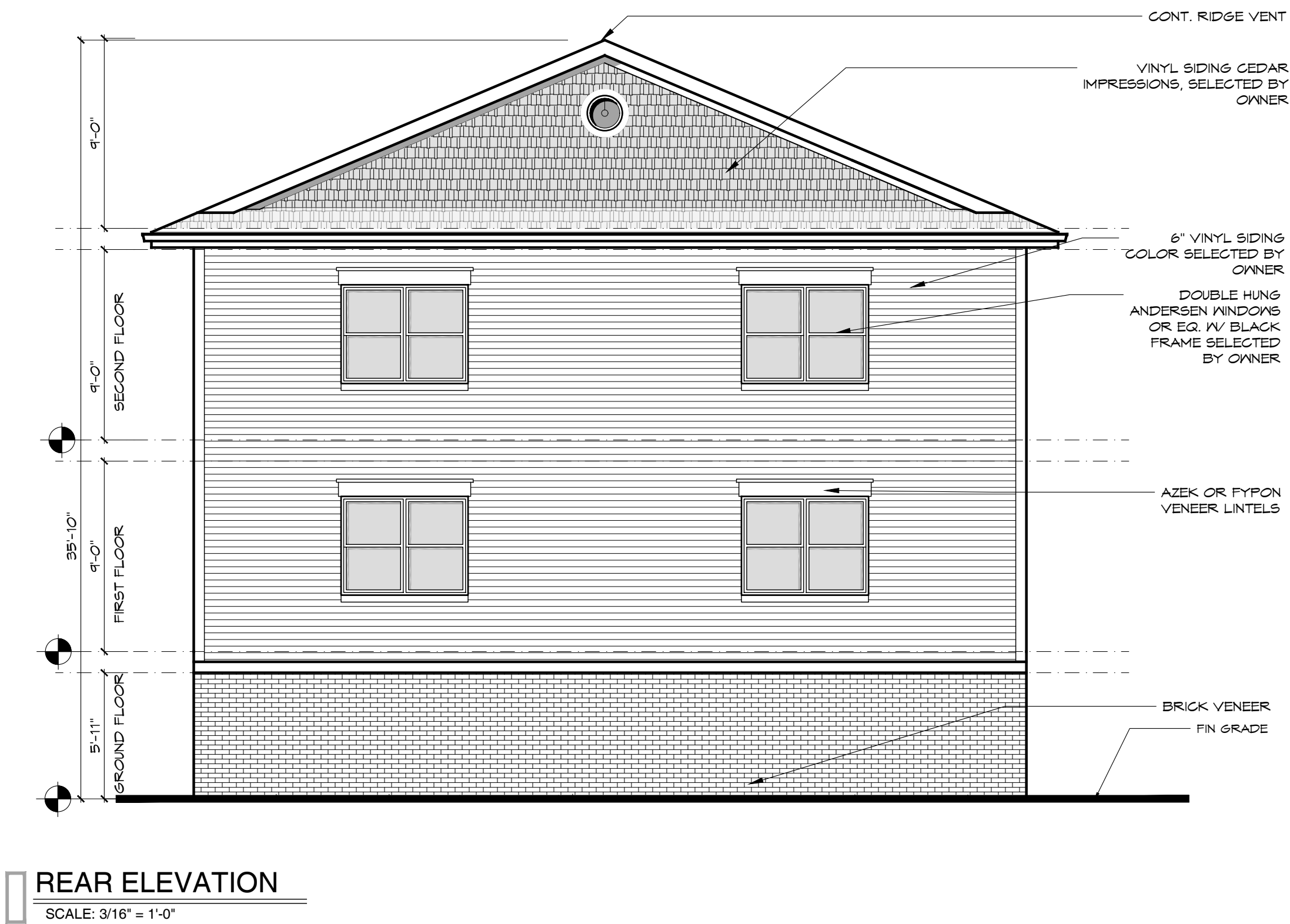
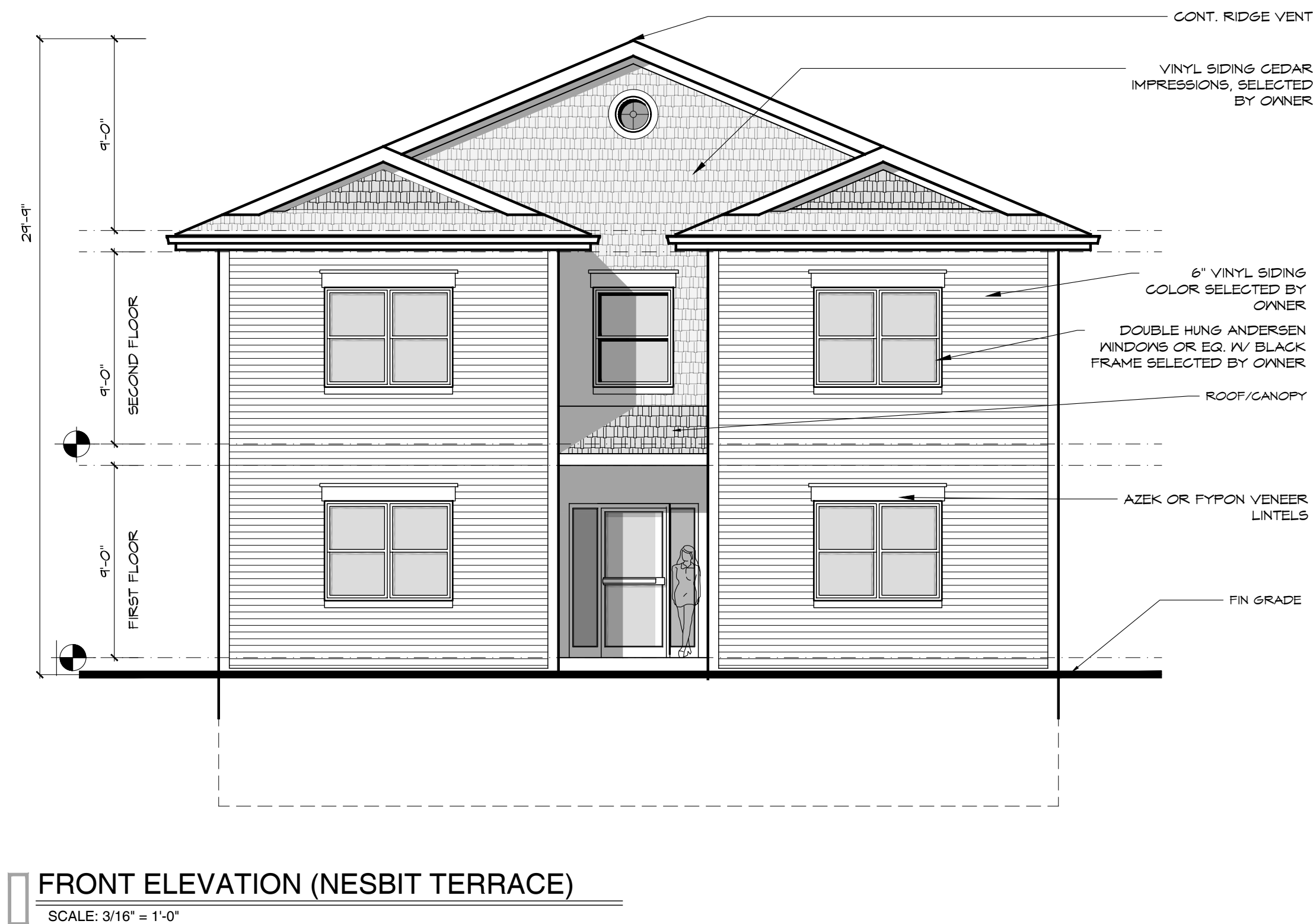
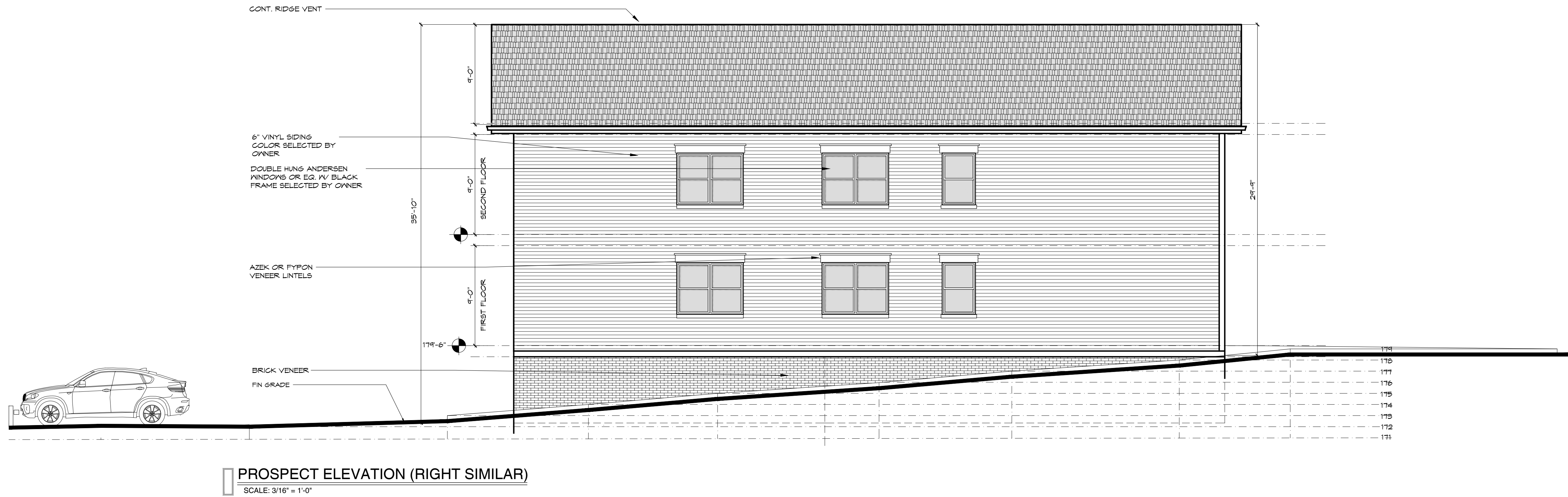
FLOOR PLANS

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ELEVATIONS

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