

SANITARY SEWER CONNECTION

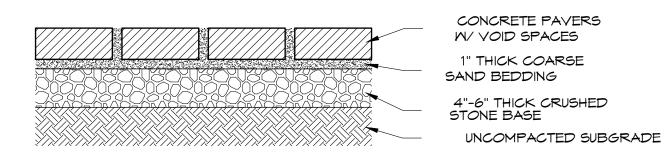
NOT TO SCALE

Date: 5 Jun 2018
Title: Proposed Apartment Building
Desc: Enter the description hare.

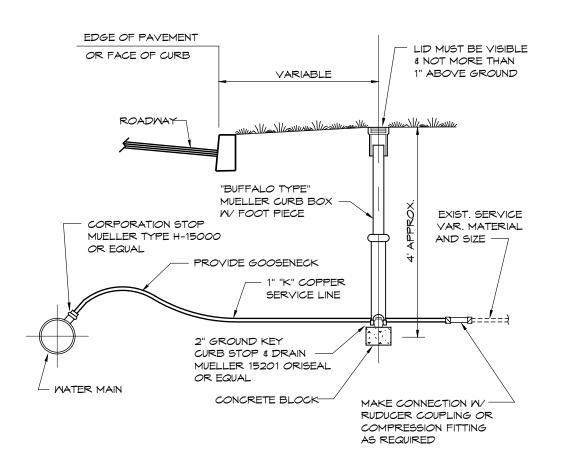
Description: UNLEDTED (WALLANCA) - ALEDTO (AREA LIGHTER), RESPONDED (Beller)
OAST NETH, HOUSENE, ORD (Beller)
O

LIGHTING DETAIL

NOT TO SCALE

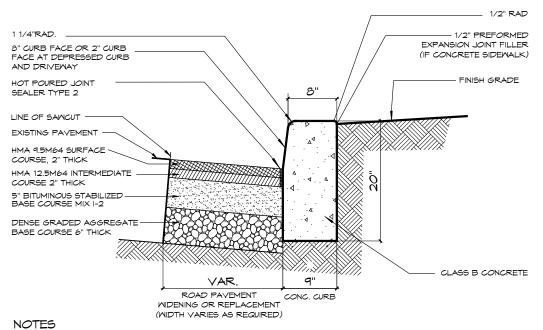


PERMEABLE PAVER DETAIL SCALE: N.T.S.



WATER CONNECTION
NOT TO SCALE

ENGINEERING DIVISION STANDARD CONSTRUCTION DETAIL



NOTES

1. MATERIALS AS INDICATED IN THE NEW JERSEY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION

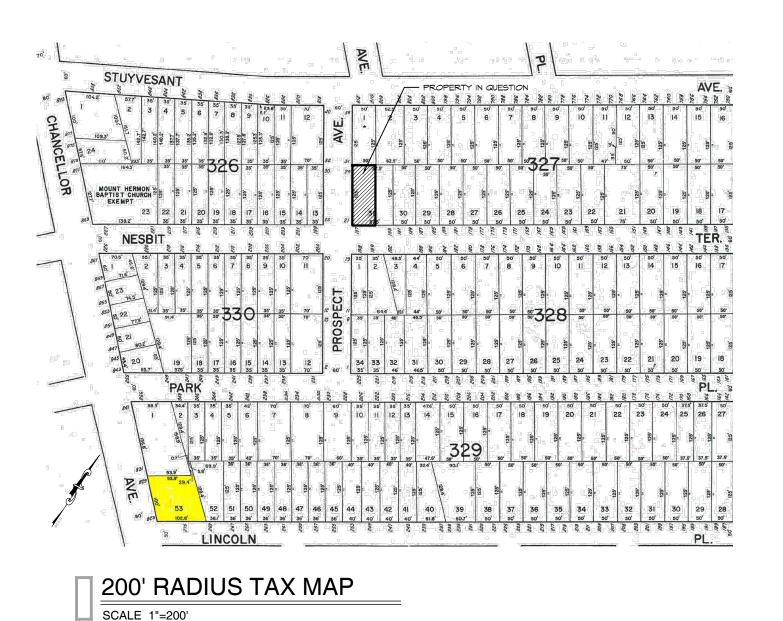
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER RECESSED 1/4" IN

FROM FRONT FACE AND TOP OF CURB

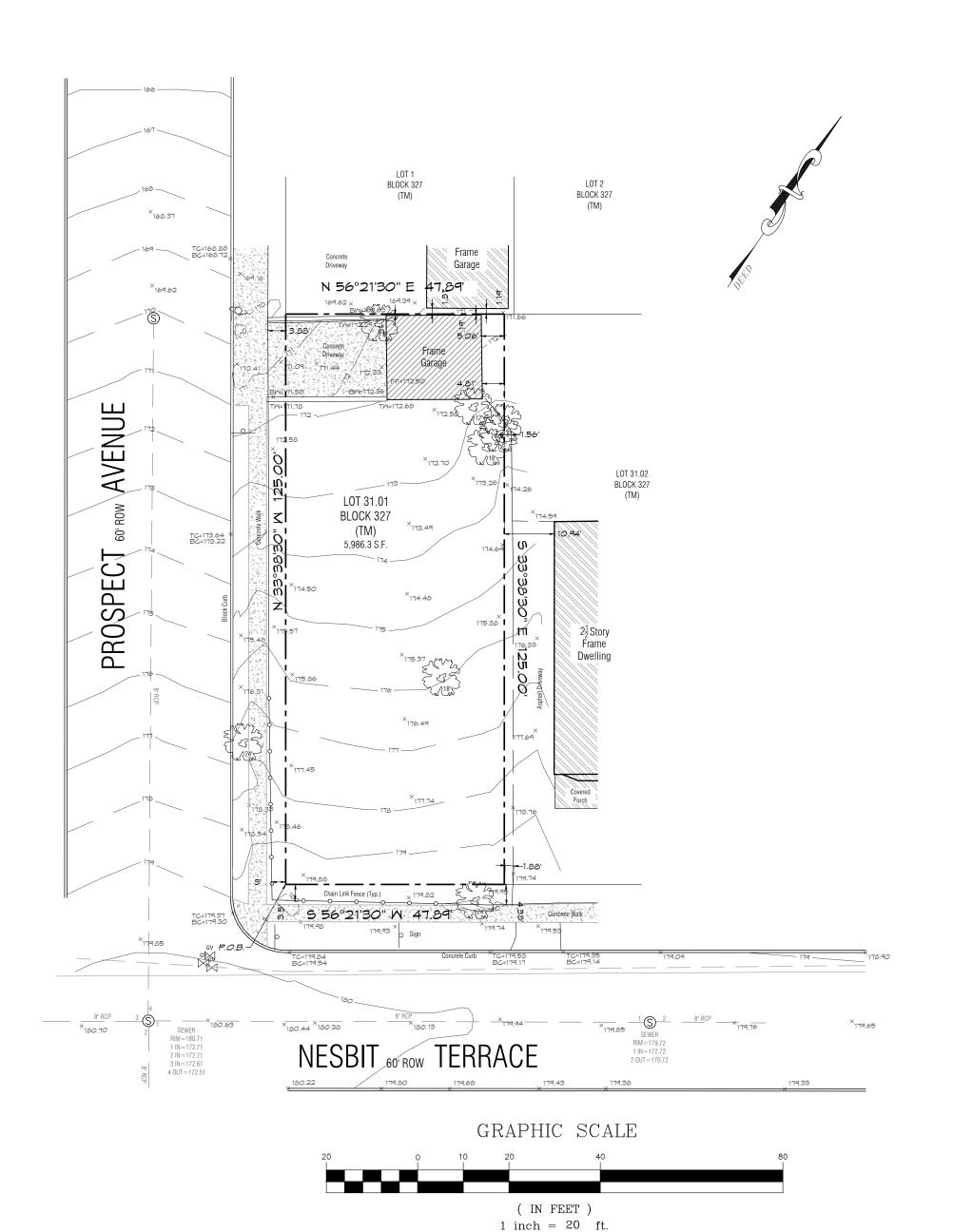
3. WHERE PARALLEL PARKING IS PERMITTED ADJACENT TO CURB, CURB MAY BE
9" x 18" WITH A 6" CURB FACE

CONCRETE VERTICAL CURB AND ROADWAY PAVEMENT WIDENING

CONCRETE VERTICAL CURB & ROADWAY PAVEMENT WIDENING
NOT TO SCALE

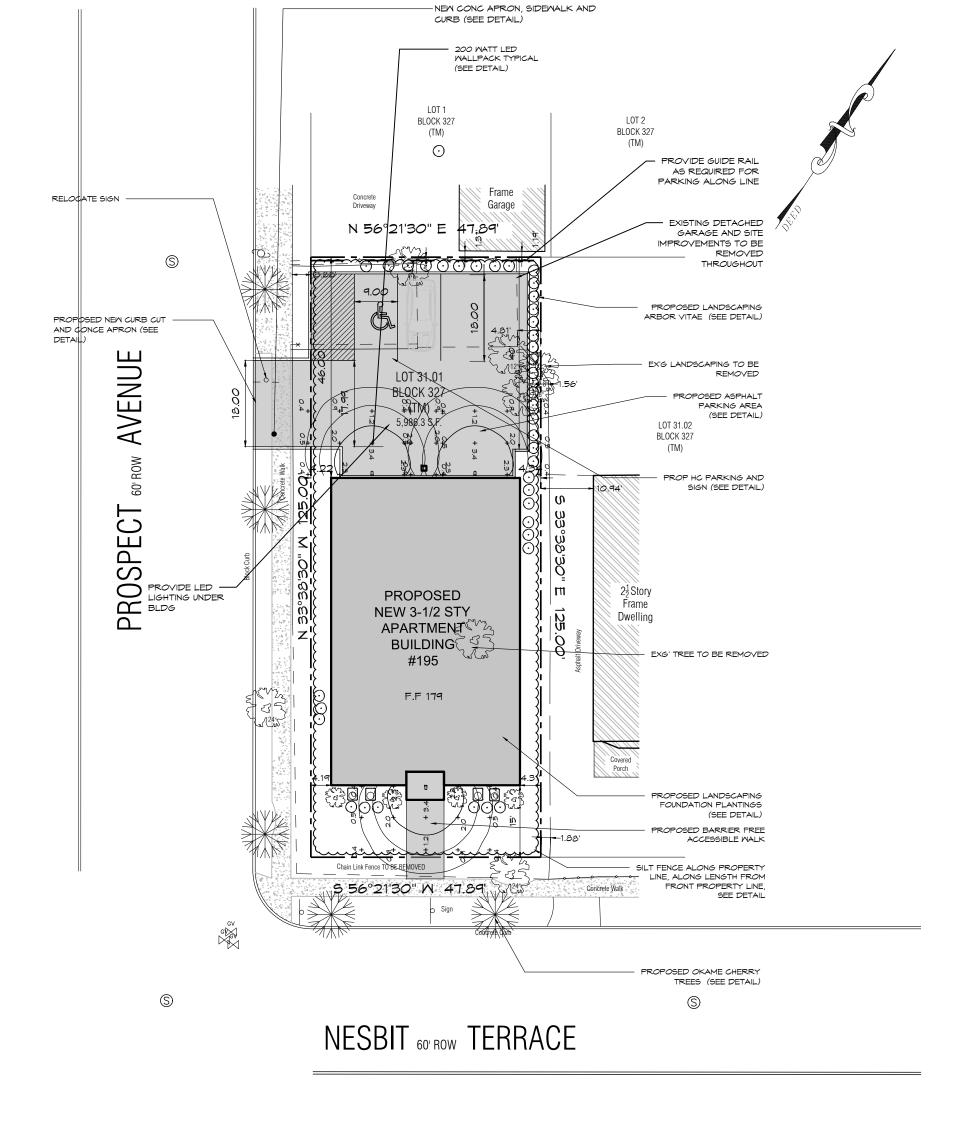


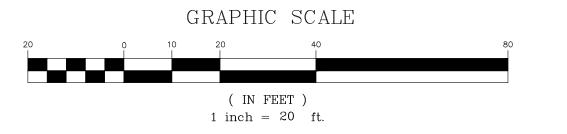
ZONING ORDINANCE DATA ZONE: R-2 LOT: 31.01 BLOCK: 327 REQUIRED REQUIRED PROPOSED VARIANCE YES USE R-2 R-3 MINIMUM LOT AREA 2,000 SF/ UNIT 1,500 SF/ UNIT 5,986.3 (-13.7) YES MINIMUM LOT WIDTH 60' 47.89' YES MINIMUM FRONT YARD SETBACK 15' 15' YES MINIMUM SIDE SETBACK (PROSPECT) 4.19' 4.31' MINIMUM SIDE SETBACK YES MINIMUM REAR SETBACK 15' 46' 15' MAXIMUM BUILDING HEIGHT (FEET) 35' 35' 34'-2" AV'G. MAXIMUM BUILDING HEIGHT (STY) 2-1/2 2-1/2 2-1/2 60 % 41% MAXIMUM BUILDING COVERAGE 52% YES 60 % 70% 75% MAXIMUM IMPERVIOUS LOT COVERAGE 20 26 UPA MINIMUM PARKING SPACES 4 SPACES 4 SPACES 4 SPACES 1 x 4 TWO BEDRM = 4 TOTAL PARKING = 8



EXISTING SITE PLAN

SCALE: 1" = 20'



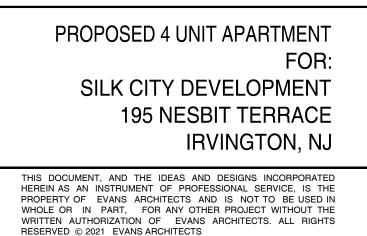


PROPOSED SITE PLAN

SCALE: 1" = 20'

SITE PLAN BASED ON SURVEY
PREPARED BY
MARK CIFONE PLS
LIC. #24GS0413290 Date: 1/20/2021





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DRW BY DATE MGE 12-2-21 REV COMMENT

SITE PLAN / NOTES

MATTHEW G. EVANS ARCHITECT NUMBER

MATCHITECT • PLANNER

SHEET NUMBER

P.P. NJ. 5662

SOIL EROSION AND SEDIMENT CONTROL NOTES (To be included on the signed erosion control plan sheet)

1. All soil erosion and sediment control practices on this plan will be constructed in accordance with the "New Jersey Standards for Soil Erosion and Sediment Control" 7th Edition last revised December 2017. These measures will be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.

2. All soil to be exposed or stockpiled for a period of greater than 14 days, and not under active construction, will be temporarily seeded and hay mulched or otherwise provided with vegetative cover. This temporary cover shall be maintained until such time whereby permanent restabilization is established.

3. <u>Seeding Dates:</u> The following seeding dates are recommended to best establish permanent vegetative cover within most locations in the HEPSCD: <u>Spring - 3/1-5/15</u> and <u>Fall - 8/15 - 10/1</u>

4. Sediment fences are to be properly trenched and maintained until permanent vegetative cover is established

5. All storm drainage inlets shall be protected by one of the practices accepted in the Standards, and protection shall remain until permanent stabilization has been established. Storm drainage outlet points shall be protected as required before they become functional.

6. Mulch materials shall be un-rotted small grain straw applied at the rate of 70 to 90 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District.

7. All erosion control devices shall be periodically inspected, maintained and corrected by the contractor. Any damage incurred by erosion shall be rectified immediately.

8. The Hudson-Essex-Passaic Soil Conservation District will be notified in writing at least 48 hours prior to any soil disturbing activities. Fax - (862) 333-4507 OR email - INFORMATION@HEPSCD.ORG

9. The applicant must obtain a District issued Report-of-Compliance prior to applying for the Certificate of Occupancy or Temporary Certificate of Occupancy from the respective municipality, NJ - DCA or any other controlling agency. Contact the District at 862-333-4505 to request a Final Inspection, giving advanced notice upon completion of the restabilization measures. A performance deposit may be posted with the District when winter weather or snow cover prohibits the proper application of seed, mulch, fertilizer or hydro-seed.

10. Paved roadways must be kept clean at all times. Do not utilize a fire or garden hose to clean roads unless the runoff is directed to a properly designed and functioning sediment basin. Water pumped out of the excavated areas contains sediments that must be removed prior to discharging to receiving bodies of water using removable pumping stations, sump pits, portable sedimentation tanks and/or silt control bags.

11. All surfaces having lawn or landscaping as final cover are to be provided topsoil prior to re-seeding, sodding or planting. A depth of 5.0 inches, firmed in place, is **required**, as per the Standards for Topsoiling and Land Grading, last revised December 2017.

12. All plan revisions must be submitted to the District for proper review and approval.

13. A crushed stone wheel cleaning tracking-pad is to be installed at all site exits using 2 ½ -1" crushed angular stone (ASTM 2 or 3) to a minimum length of 50 feet and minimum depth of 6". All driveways must be provided with crushed stone until paving is complete.

14. Steep slopes incurring disturbance may require additional stabilization measures. These "special" measures shall be designed by the applicant's engineer and be approved by the Soil Conservation District.

15. The Hudson-Essex-Passaic Soil Conservation District shall be notified, in writing, for the sale of any portion of the project or for the sale of individual lots. New owners' information shall be provided. Additional measures deemed necessary by District officials shall be implemented as conditions warrant.

http://hepsoilnj.org
HEPSCD251SESCNOTES 7THEDREV2017

SITE NOTES

DISCREPANCIES PRIOR TO BEGINNING WORK.

INCLUDING METES/BOUNDS & BUILDING SETBACKS.

6. GRADES & ELEVATIONS ARE APPROXIMATE & SHALL BE VERIFIED ON SITE.

FROM OR ENCROACHES ONTO ADJOINING (OFF-SITE) PROPERTY.

REQUIREMENTS OF THE OWNER & MUNICIPAL REQUIREMENTS.

METHODS REQUIRED FOR SOIL STABILIZATION.

RESPECTIVE UTILITY SUPPLIERS.

REMOVAL \$/OR RELOCATION.

PHASES OF CONSTRUCTION.

PRIOR TO BEGINNING WORK.

RESPECTIVE AUTHORITIES.

SOIL MANAGEMENT NOTE:

ACCORDING TO STATE OF NEW JERSEY LAND USE CLASSIFICATION SYSTEM THE SITE IS UNDER URBAN REDEVELOPMENT AREA, LAND USE CODE 1,110. THEREFORE, THE PROPOSED PROJECT DOES NOT REQUIRE COMPACTION REMEDIATION, AS PER EXEMPTION #6 UNDER SOIL MANAGEMENT AND PREPARATION STANDARDS FOR SOIL AND SEDIMENT CONTROL IN NEW JERSEY.

GENERAL CONTRACTOR & SUBCONTRACTORS SHALL INSPECT PREMISES & VERIFY ALL EXISTING

CONDITIONS IN FIELD & IN RELATION TO PROPOSED WORK & NOTIFY ARCHITECT OF

2. ALL SITES IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CODES,

3. ALL UTILITY CONNECTIONS, INSTALLATIONS & RELATED WORK SHALL BE COORDINATED WITH THE

4. LOCATE & VERIFY EXISTING UNDERGROUND & ABOVEGROUND UTILITY LINES WHICH MAY REQUIRE

5. USE ACTUAL SURVEY DRAWINGS, AS REFERENCED HEREIN, TO VERIFY DATA ON SITE PLAN

7. SITE SHALL BE CLEARED & CLEANED OF DEBRIS & GARBAGE & DISPOSED OF IN A LEGAL

8. ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE GENERAL CONTRACTOR FOR BUILDING

9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE PREMISES SECURED DURING ALL

10. ALL GRADE SHOWN ON THE PLANS ARE APPROXIMATE & SHALL BE VERIFIED IN THE FIELD BY THE

GENERAL CONTRACTOR PRIOR TO BEGINNING WORK & WHO SHALL DETERMINE IF

DISCREPANCIES EXIST BETWEEN FINISHED FLOOR ELEVATIONS PROPOSED & ACTUAL GRADES IN

THE FIELD. GENERAL CONTRACTOR SHALL RETAIN A LICENSED LAND SURVEYOR TO VERIFY

EXISTING GRADES & PROPOSED FLOOR ELEVATIONS. NOTIFY ARCHITECT OF DISCREPANCIES

1. GENERAL CONTRACTOR, PRIOR TO COMMENCING WORK, SHALL VERIFY EXISTING UTILITY LINES &

EQUIPMENT IN THE FIELD & SHALL CONFER WITH THE MUNICIPAL ENGINEER, UTILITY SUPPLIERS &

APPLICABLE GOVERNMENTAL AGENCIES TO INSURE THAT THE PROPOSED WORK BE INSTALLED IN

ACCORDANCE TO GOVERNING CODES, STANDARDS, REQUIREMENTS & SPECIFICATIONS OF THE

CONDITIONS DURING EXCAVATION INCLUDING UTILITY LINES, TREE ROOTS ETC. THAT EMANATES

MISCELLANEOUS EQUIPMENT TO SUPPORT & PREVENT MOVEMENT OF EARTH WHICH COULD INJURE

PERSONS AT THE SITE & ENDANGER ADJACENT STRUCTURES, TANKS, UTILITIES, ETC.

CONTRACTOR SHALL CONFIRM WITH THE MUNICIPAL ENGINEER OR CONSTRUCTION OFFICIAL ANY

14. GENERAL CONTRACTOR SHALL INSTALL & MAINTAIN ALL TEMPORARY FENCES, GUARDRAILS,

15. GENERAL CONTRACTOR SHALL PROVIDE, INSTALL, MAINTAIN & OPERATE PUMPS, SUMPS & OTHER

16. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ALL PRE-EXISTING

FOUNDATIONS, FOOTINGS & FILL ENCOUNTERED AT THE SITE PRIOR TO BEGINNING ANY MORK.

FROM BEING DAMAGED & AFFECTED BY WATER DURING ALL PHASES OF CONSTRUCTION.

APPROVED EQUIPMENT & METHODS TO KEEP EXCAVATIONS FREE FROM WATER & KEEP WORK

WARNING & OTHER SIGNS, LIGHTING & SAFEGUARDS AS REQUIRED AROUND ALL EXCAVATIONS,

OPENINGS & SIMILAR CONDITIONS. ALL SHALL COMPLY WITH "OSHA" STANDARDS & THE

12. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF HE ENCOUNTERS UNDERGROUND

13. GENERAL CONTRACTOR SHALL FURNISH, INSTALL & MAINTAIN SHEETING, BRACING, SHORING &

MANNER UPON COMPLETION OF WORK, & AS REQUIRED DURING WORK & PRIOR TO BEGINNING

DEMOLITION & OTHER WORK REQUIRED FOR THE PREPARATION OD THE SITE FOR THE

SPECIFICATIONS & REQUIREMENTS OF THE MUNICIPALITY & ALL APPLICABLE STATE CODES.

50'-0" MIN. PUBLIC RIGHT-OF-WAY MIN. 4" THICK STONE PAD ASTM C-33 NO.2 OR APPROXIMATE 2 1/2" CRUSHED STONE FILTER BLANKET ON COMPACTED SUBGRADE PROVIDE APPROPRIATE TRANSITION -BETMEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY PLAN STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS. MAINTENANCE MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND STABILIZED CONSTRUCTION ACCESS NOT TO SCALE FABRIC ALONG TOP FABRIC: 3'-0" WIDE -SYNTHETIC FILTE 4'-0" TO 8'-0" FABRIC MATER FLOW 2'-0" MIN. 2'-0" DIG 6" WIDE AND 6" DEEP EXISTING GROUND - TRENCH, BURY BOTTOM 1' OF -METAL OR PICKET FÉNCE POST FABRIC, TAMP IN PLACE GROUND LINE FRONT ELEVATION SIDE ELEVATION SEDIMENT FILTER FENCE DETAIL NOT TO SCALE 1" TO 2 1/2" STONE NOTE: APPROPRIATE TRANSITION BETWEEN MIRAFI 100X-STABILIZED CONSTRUCTION FILTER FABRIC 6" MIN. ENTRANCE AND PUBLIC R.O.W. MUST BE PROVIDED. EXISTING GROUND STABILIZED CONSTRUCTION ACCESS

DUST CONTROL NOTES

1. MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES

NOT TO SCALE

- ONLY, PG. 5-1

 2. VEGETATIVE COVER SEE STANDARD FOR: TEMPORARY
 VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE
 COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT
- STABILIZATION WITH SOD, PG. 6-1

 3. SPRAY-ON ADHESIVES ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
- ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

 4. TILLAGE TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING SITE IS SPRINKLED UNTIL THE SURFACE IS MET.
 BARRIERS SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND
- SOIL BLOWING.

 7. CALCIUM CHLORIDE SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- 8. STONE COVER SURFACE WITH CRUSHED STONE OR COARSE

SIT ROOT BALL ON EXISTING UNDISTURBED SOIL
OR ON COMPACTED SUBGRAD

SIT ROOT BALL ON EXISTING UNDISTURBED SOIL
OR ON COMPACTED SUBGRAD

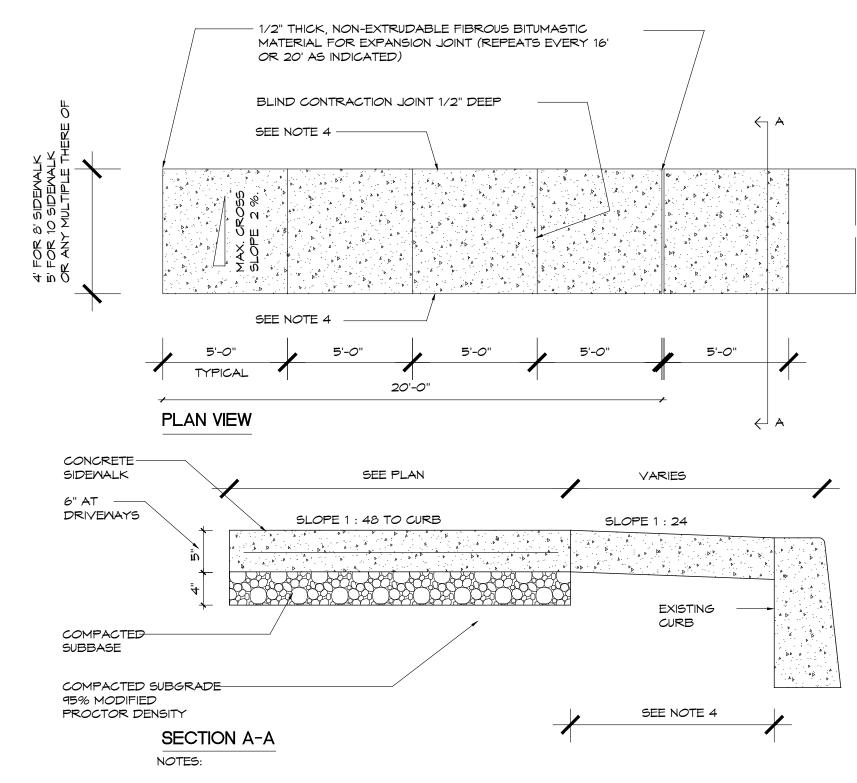
SIT ROOT BALL ON EXISTING UNDISTURBED SOIL
OR ON COMPACTED SUBGRAD

NOTES:

1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

SHRUB/ TREE PLANTING DETAILS

SCALE: N.T.S



- 1. ALL CONCRETE SHALL CONFORM TO 2009 NEW JERSEY D.O.T. STANDARD SPEC. FOR ROAD AND BRIDGE CONSTRUCTION SECTION 914 CLASS "B" AIR ENTRAINED. ALL CONCRETE WORK SHALL BE DONE BEFORE INITIAL SET USING A STEEL OR BARN BROOM. ALL JOINTS AND EDGES SHALL BE TOOLED AND ROUNDED.
- 2. SUBBASE AND FORMWORK SHALL BE FIRM AND APPROVED BT THE CITY ENGINEER OR HIS/HER REPRESENTATIVE PRIOR TO POURING.
- 3. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO 2009 NEW JERSEY D.O.T. STANDARD SPEC.
- 4. WHEN SIDEWALK ABUTS CURB OR SIDEWALK, A 1/2" THICK NON-EXTRUDABLE FIBROUS BITUMASTIC EXPANSION JOINT IS REQUIRED.
- 5. UNIT PRICE BID SHALL INCLUDE, BUT ARE NOT LIMITED TO ALL LABOR, EQUIPMENT, MATERIALS AND TOOLS TO PERFORM THE CONSTRUCTION, AS INDICATED ABOVE, IN A WORKMANLIKE MANNER.
- 6. FOR SCORING PATTERN, SIDEWALK SHALL BE DIVIDED INTO 2 LONGITUDINAL

CONCRETE SIDEWALK DETAIL

SEQUENCE OF CONSTRUCTION

SECTIONS.

NOT TO SCALE

SEQUENCE OF CONSTRUCTION

1. INSTALL INLET FILTERS ON EXISTING INLETS AS REQUIRED . (1)

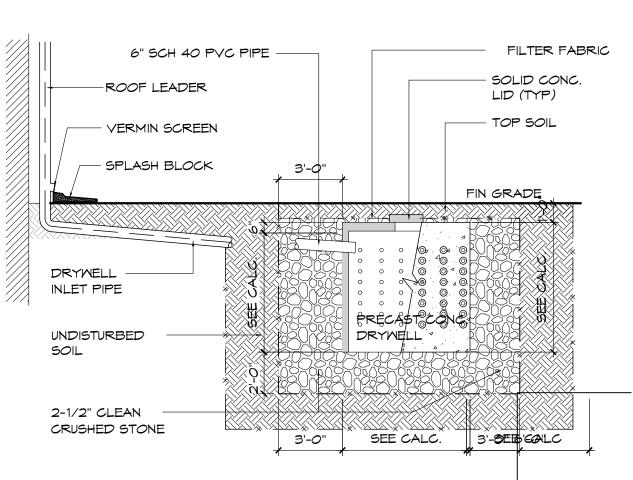
- DAY)
 2. INSTALL SILT FENCE, CONSTRUCTION ENTRANCE, AND SILT
- FENCING. (3 DAYS) 3. PERFORM DEMOLITION. (14 DAYS)
- PERFORM DEMOLITION. (14 DAYS)
 ROUGH GRADING AND TEMPORARY SEEDING. (21 DAYS)
- 5. CONSTRUCT CONDUIT AND STORM PIPING. (21 DAYS)
 6. INSTALL INLET PROTECTION ON NEW INLETS. (1 DAY)
- 7. BUILDING AND SITE CONSTRUCTION. N/A (2 MONTHS)8. SOIL COMPACTION TESTING AND/OR SUBSOIL COMPACTION
- REMEDIATION. (2 DAYS)

 9. TOPSOIL AND FINAL GRADING OF LOT. (3 DAYS)
- 10. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5",
 MINIMUM OF 4", FIRMED IN PLACE.
- 11. LANDSCAPING IMPROVEMENTS AND FINAL SEEDING. (7 DAYS)
- 12. PERMANENT STABILIZATION. (3 DAYS)
 13. REMOVE SILT FENCE AND SOIL EROSION MEASURES. (2
- 14. INSTALL K5 SAND AND CONDUIT OUTLET PROTECTION TO AVOID CONTAMINATION OF SAND DURING ITS USE AS A
- SEDIMENT BASIN. (3 DAYS) NOTE:

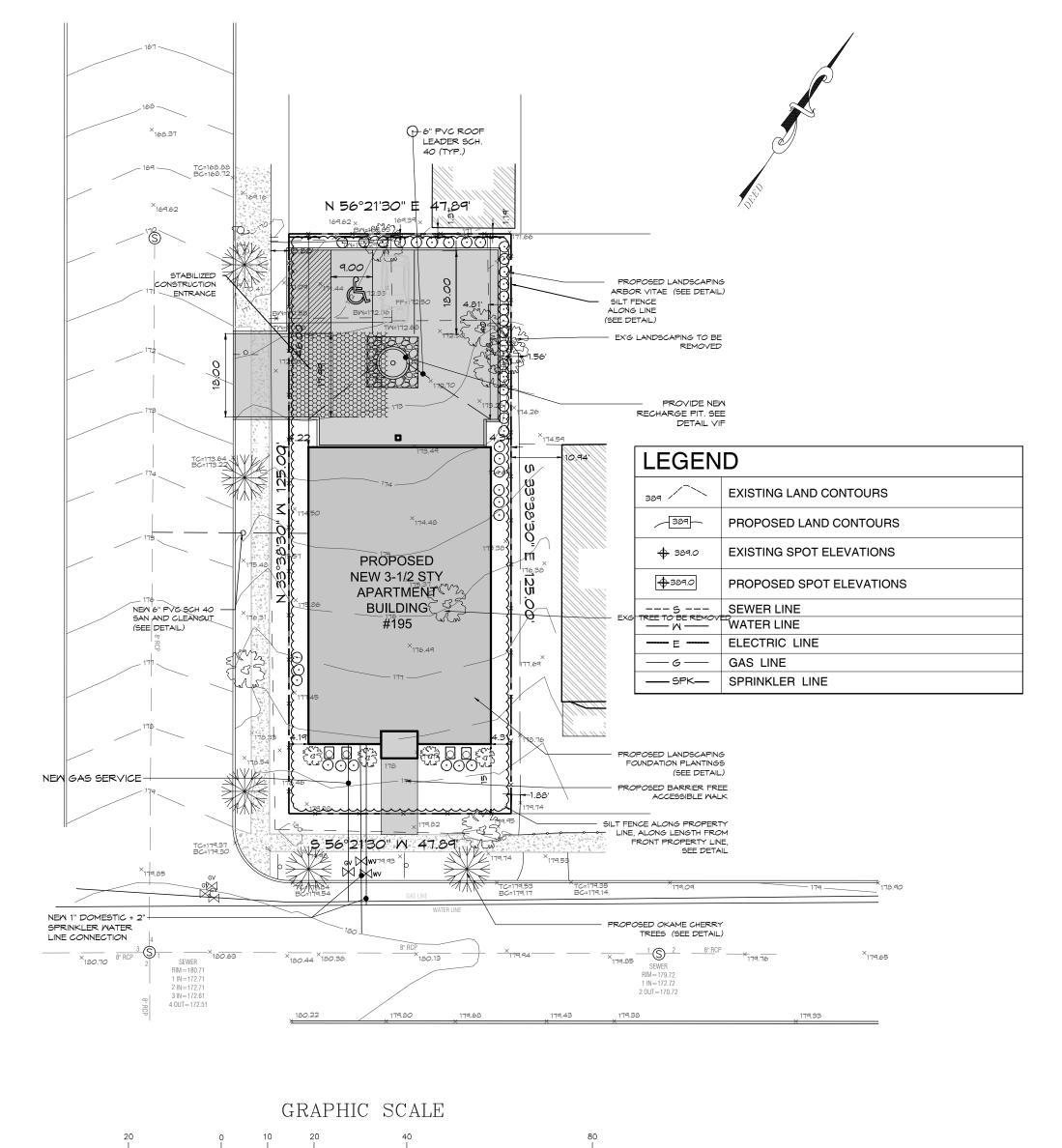
 1. TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUILE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO MUNICIPALITY AND ENGINEER. CONTRACTOR SHALL PHASE
- CONSTRUCTION ACCORDINGLY.

 2. ALL BASINS MUST BE PROPERLY CONSTRUCTED AND BASIN SLOPES MUST BE PERMANENTLY STABILIZED PRIOR TO THE

DRAINAGE SYSTEM BECOMING OPERATIONAL.



SEEPAGE PIT SECTION
NOT TO SCALE



(IN FEET) 1 inch = 20 ft.

UTILITY & GRADING SOIL EROSION SITE PLAN

SCALE: 1" = 20'-0"

EXCAVATION, SOIL PREPARATION, AND DE-WATERING NOTES

- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION, THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- 2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE TO HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL AND OBTAIN ANY NECESSARY PERMITS.
 THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND
- REGULATIONS.

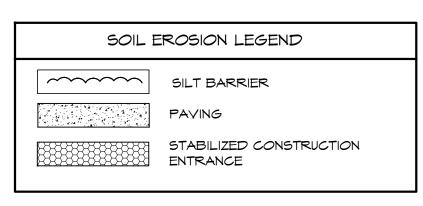
 5. THE CONTRACTOR IS RESPONSIBLE FOR DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

PROTECTED IN ACCORDANCE WITH THE LATEST OSHA

DEMOLITION NOTES

- 1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- PRACTICES.

 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
- 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



EVANS ARCHITECTS AIA

MATTHEW G. EVANS
ARCHITECT - PROFESSIONAL PLANNER

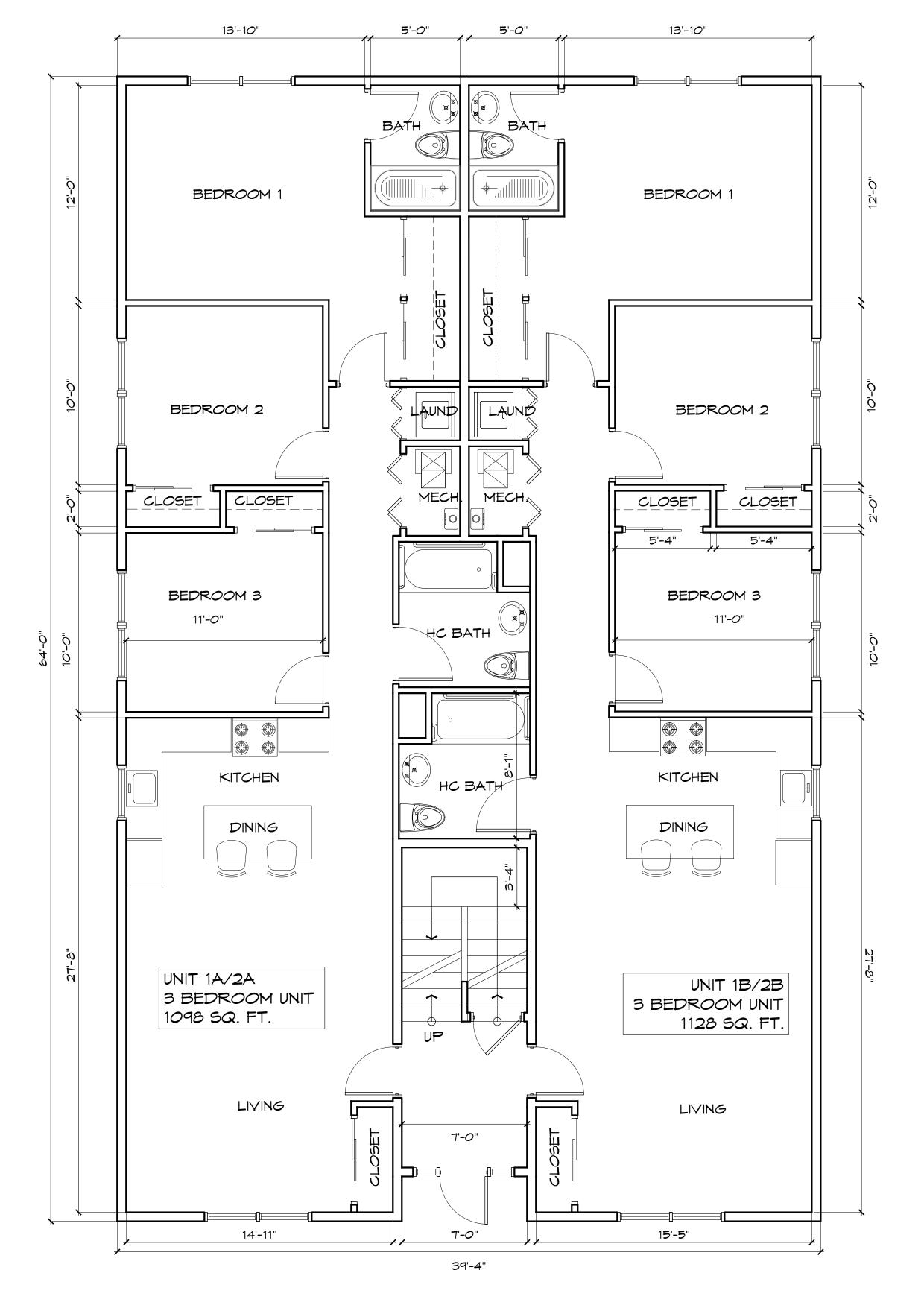
470 CHAMBERLAIN AVENUE PATERSON NEW JERSEY 07522 9 7 3 9 4 2 - 9 0 2 0 MATT@EVANSARCHITECTS.COM WWW.EVANSARCHITECTS.COM

PROPOSED 4 UNIT APARTMENT FOR: SILK CITY DEVELOPMENT 195 NESBIT TERRACE IRVINGTON, NJ

MATTHEW G. EVANS
ARCHITECT • PLANNER

R.A. NJ. 13803•R.A NY. 26125

S-2



FIRST AND SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

EVANS ARCHITECTS AIA

MATTHEW G. EVANS
ARCHITECT - PROFESSIONAL PLANNER

470 CHAMBERLAIN AVENUE PATERSON NEW JERSEY 07522 9 7 3 9 4 2 - 9 0 2 0 MATT@EVANSARCHITECTS.COM WWW.EVANSARCHITECTS.COM

PROPOSED 4 UNIT APARTMENT FOR: SILK CITY DEVELOPMENT

195 NESBIT TERRACE IRVINGTON, NJ

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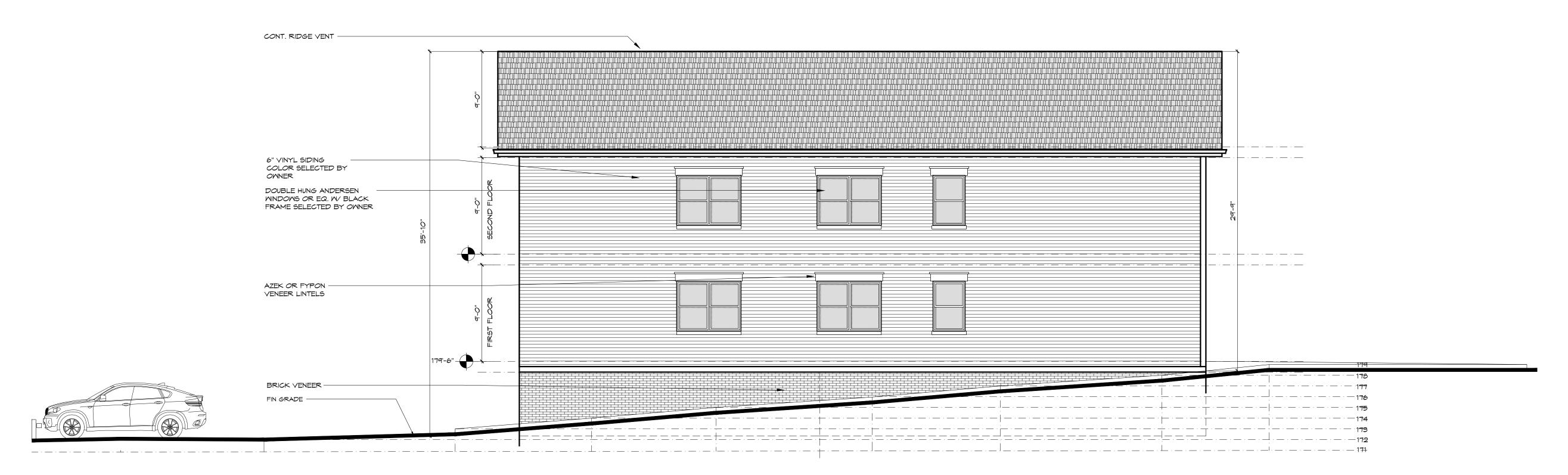
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FLOOR PLANS

MATTHEW G. EVANS ARCHITECT • PLANNER

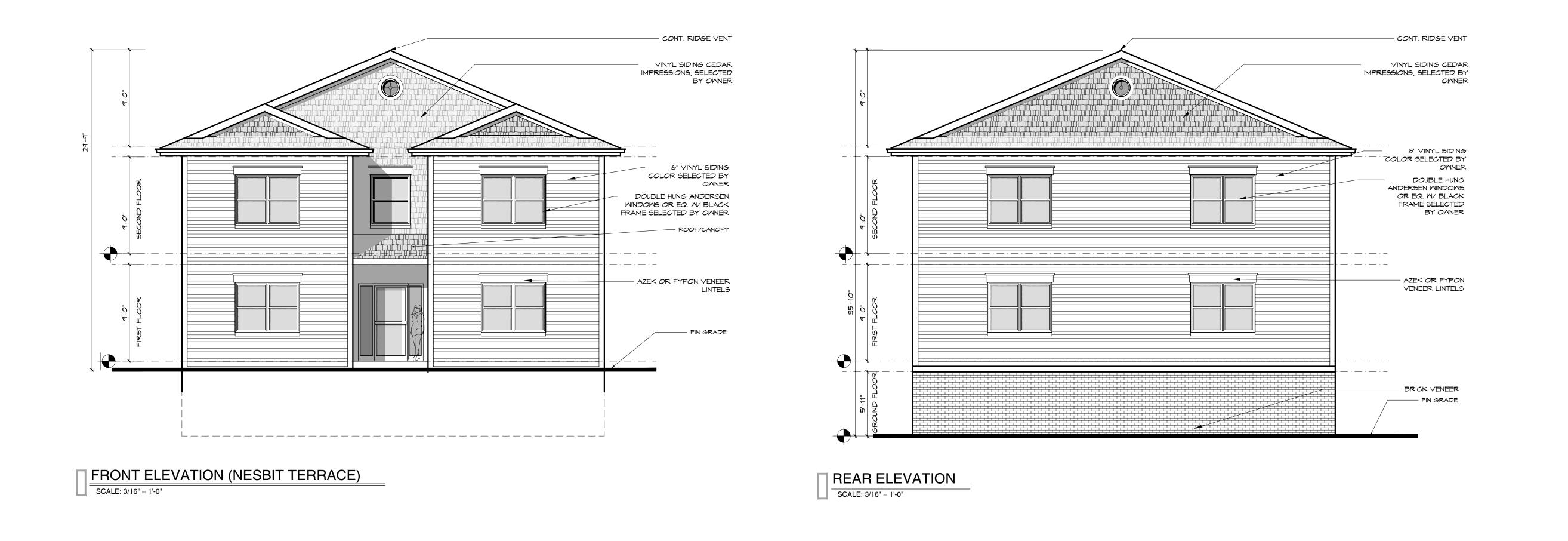
SK-1

SHEET NUMBER



PROSPECT ELEVATION (RIGHT SIMILAR)

SCALE: 3/16" = 1'-0"



EVANS ARCHITECTS AIA

MATTHEW G. EVANS
ARCHITECT - PROFESSIONAL PLANNER

470 CHAMBERLAIN AVENUE PATERSON NEW JERSEY 07522 9 7 3 9 4 2 - 9 0 2 0 MATT@EVANSARCHITECTS.COM WWW.EVANSARCHITECTS.COM

PROPOSED 4 UNIT APARTMENT
FOR:
SILK CITY DEVELOPMENT
195 NESBIT TERRACE
IRVINGTON, NJ

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ELEVATIONS

MATTHEW G. EVANS
ARCHITECT • PLANNER

SHEET
NUMBER

SK-2

P.P. NJ. 5662