

**Tax Lot - 7; Block - 201
22-26 Coit Street,
Irvington Twp., Essex County,
New Jersey 07111**

Roderick G. Watkins, Architect
40 Clinton Street, Suite 300
Newark, Essex County,
New Jersey 07102

3	Revision 11-2-2020
2	Revision 2-24-2020

Key Plan:

Elevations

Stamp:

A-3

CONVERT EXISTING
 SINGLE FAMILY
 RESIDENCE INTO A
 ADULT BOARDING HOME

Tax Lot - 7; Block - 201
 22-26 Coit Street,
 Irvington Twp., Essex County,
 New Jersey 07111

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 www.wsmassociatesllc.com

Roderick G. Watkins, Architect
 40 Clinton Street, Suite 300
 Newark, Essex County,
 New Jersey 07102

Tel. 1908.591.1357
 N.J. LIC. NUMBER: AI016257

4 Revision 1-5-2021

No.	Date	Revision
1	6-17-2019	Planning Board Submission

Key Plan:

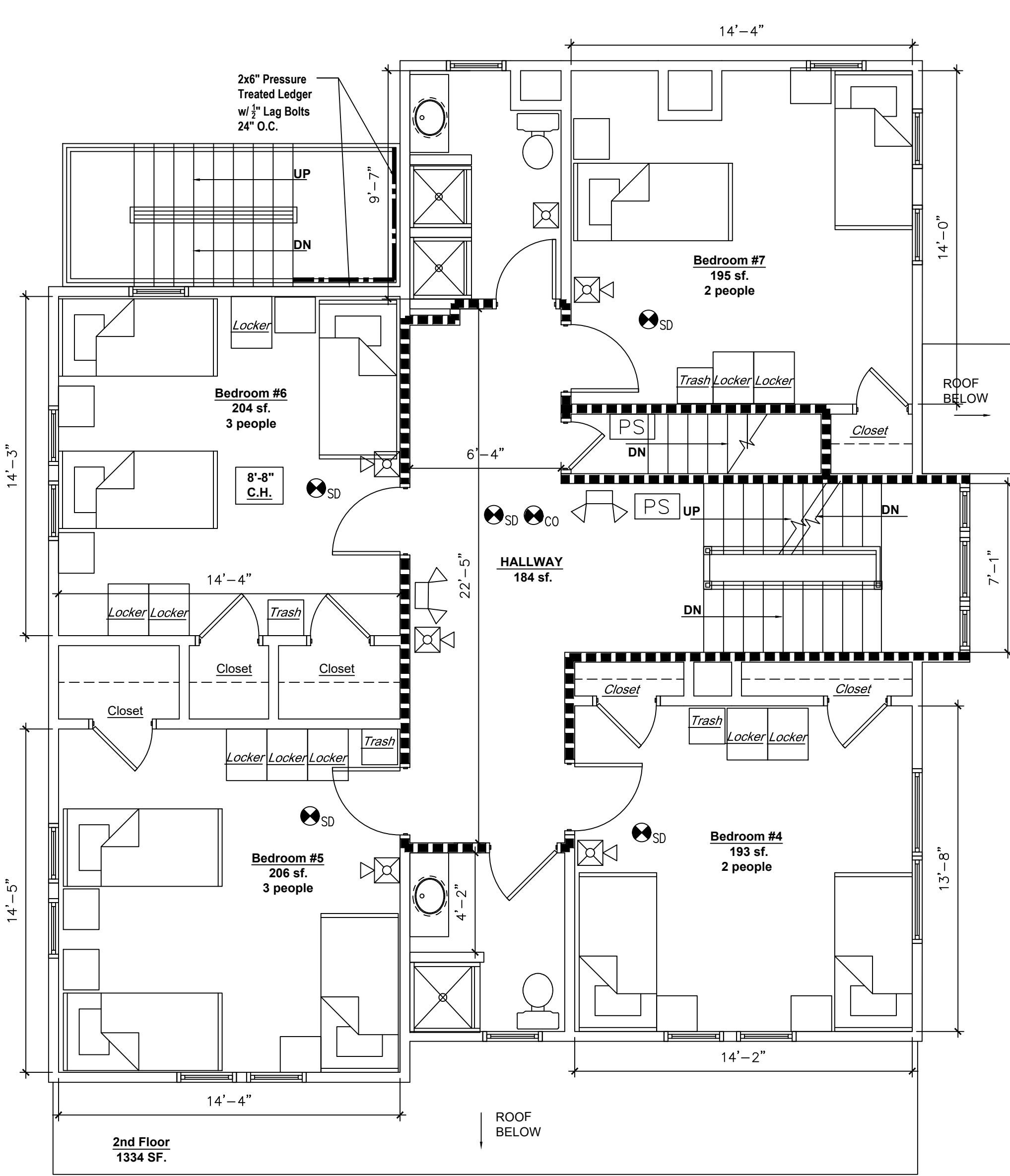
Sheet Title:

2nd & 3rd
 Floor Plans

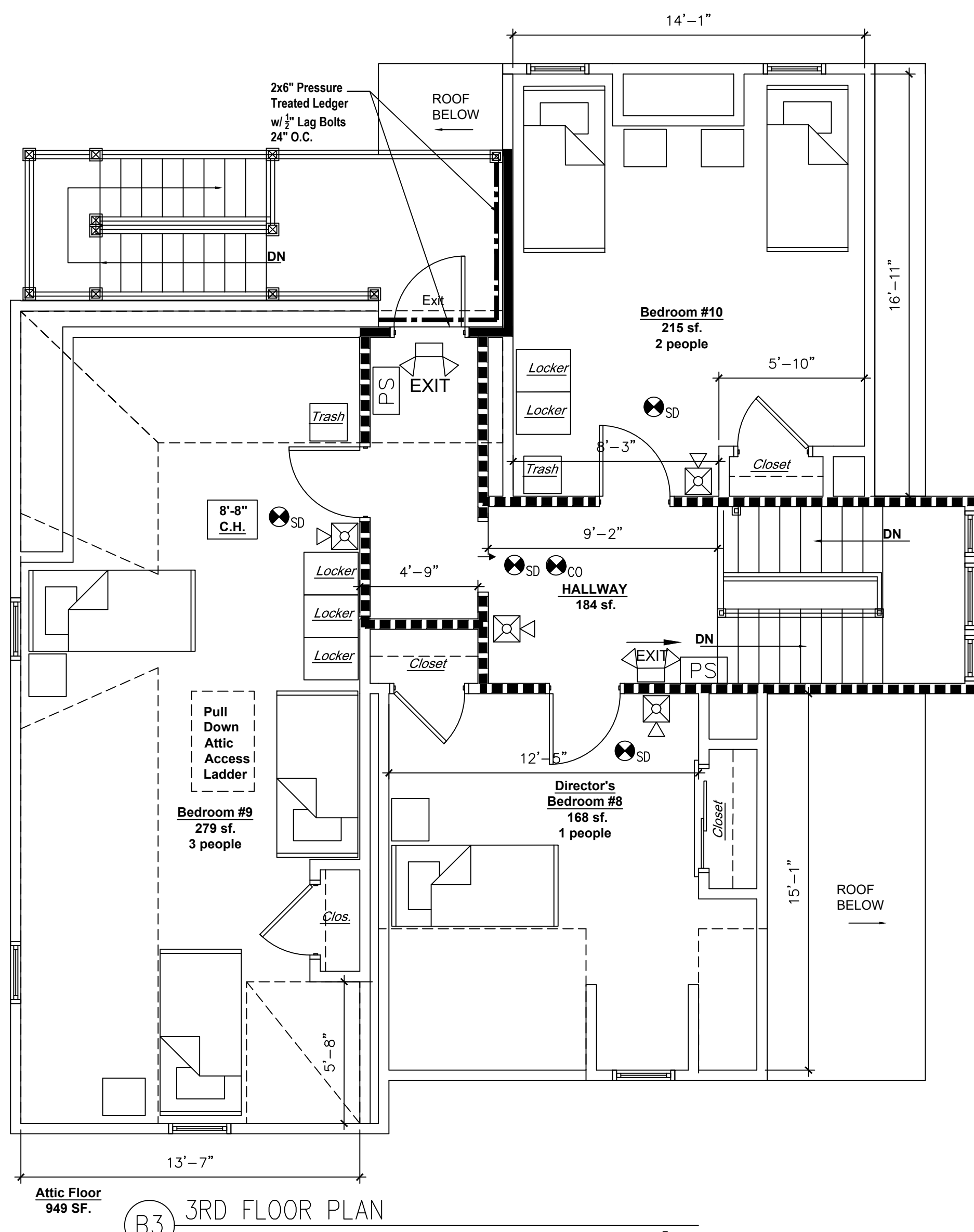
Project No: 06172019
 Scale: AS SHOWN ON SHEET
 Designed: Chris Sanders
 Drawn by: Chris Sanders
 Checked by: Roderick Watkins
 Date: June 17, 2019

Stamp: Drawing No.:

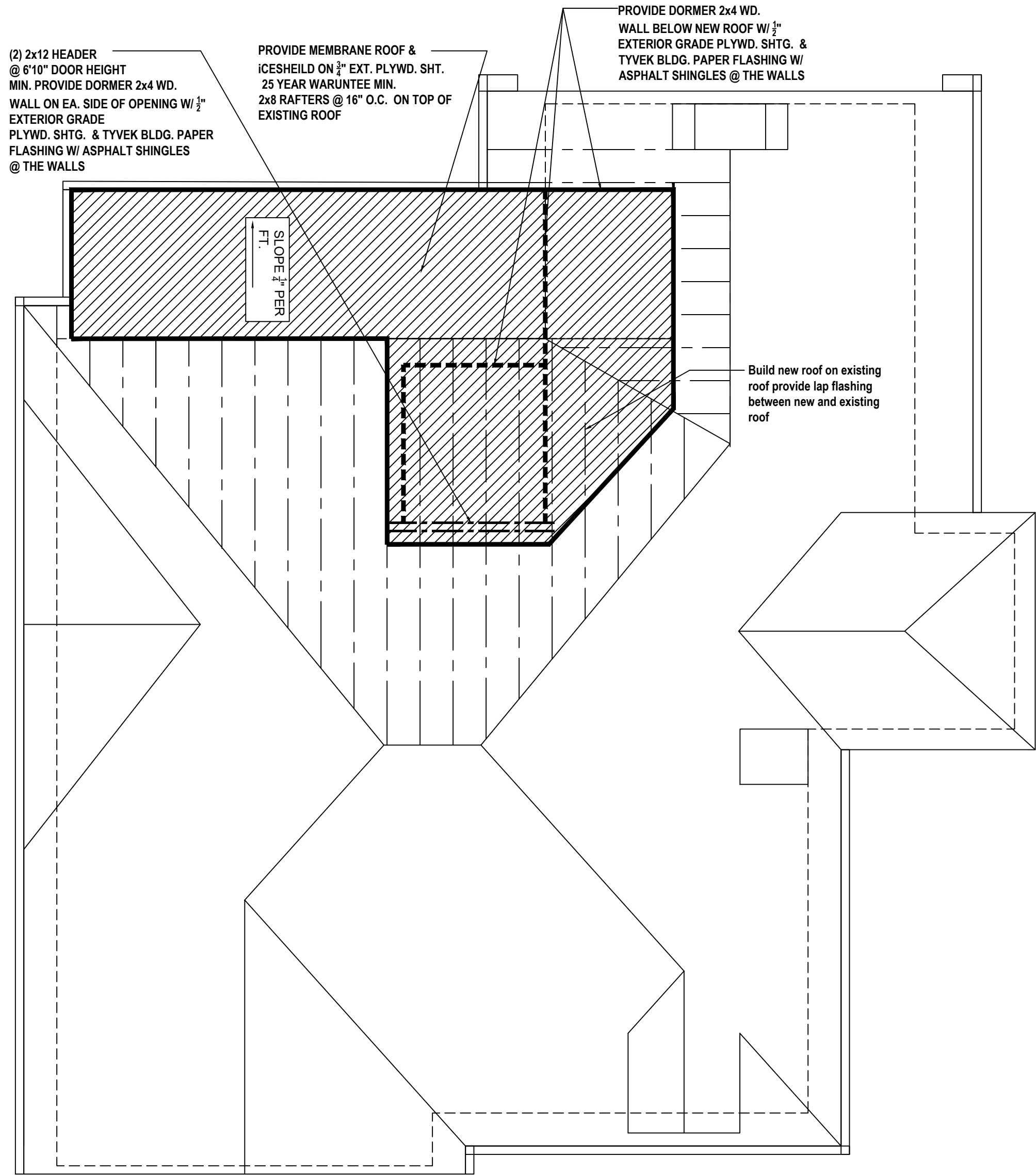
A-2



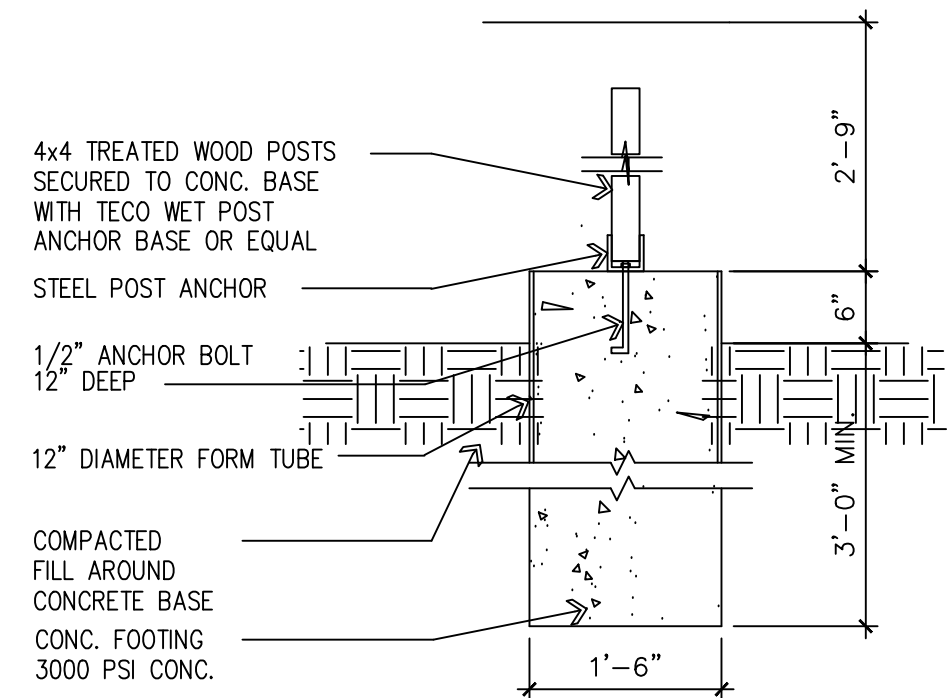
B1 2ND FLOOR PLAN
 SCALE: 1/4"=1'-0"



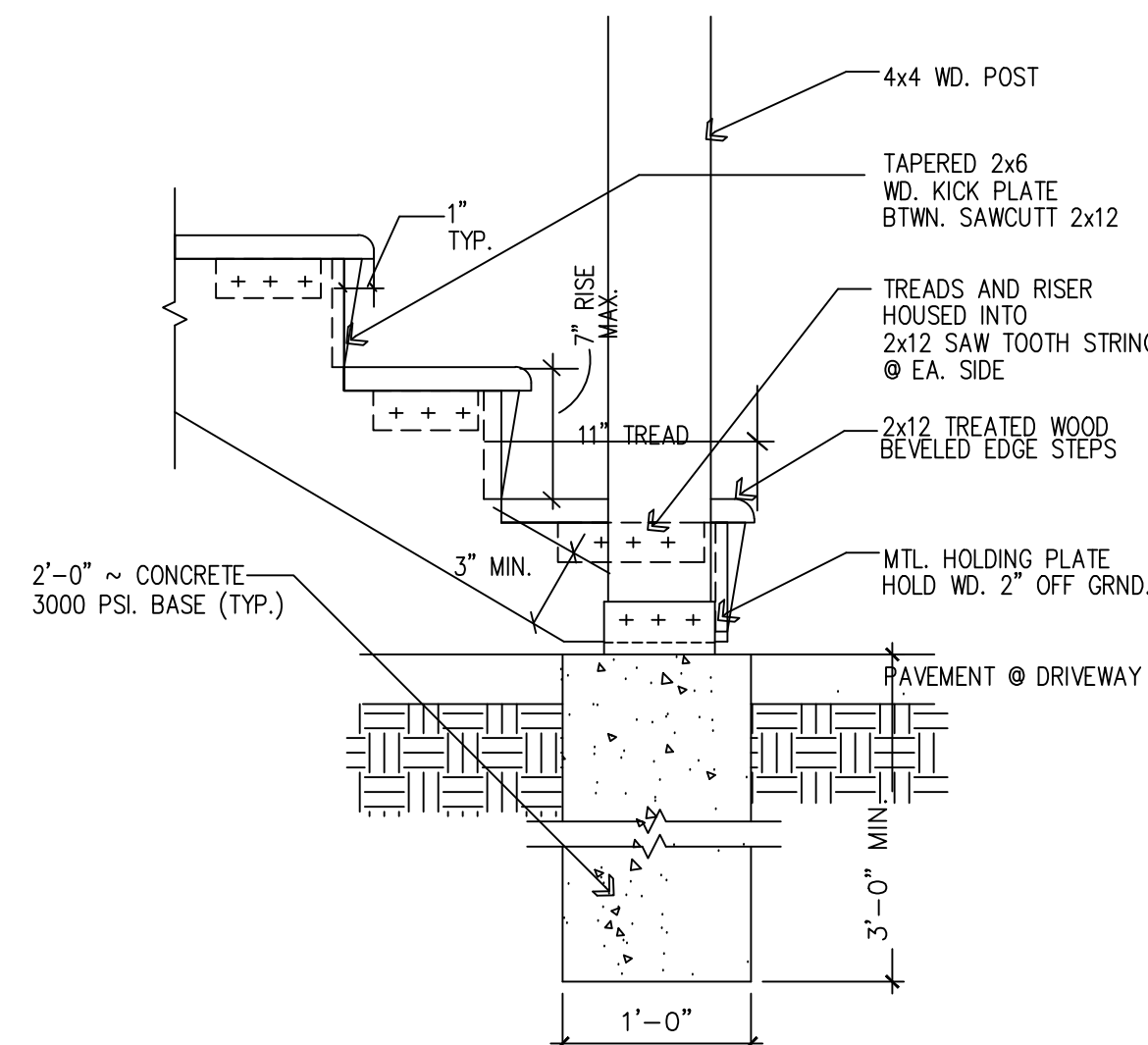
B3 3RD FLOOR PLAN
 SCALE: 1/4"=1'-0"



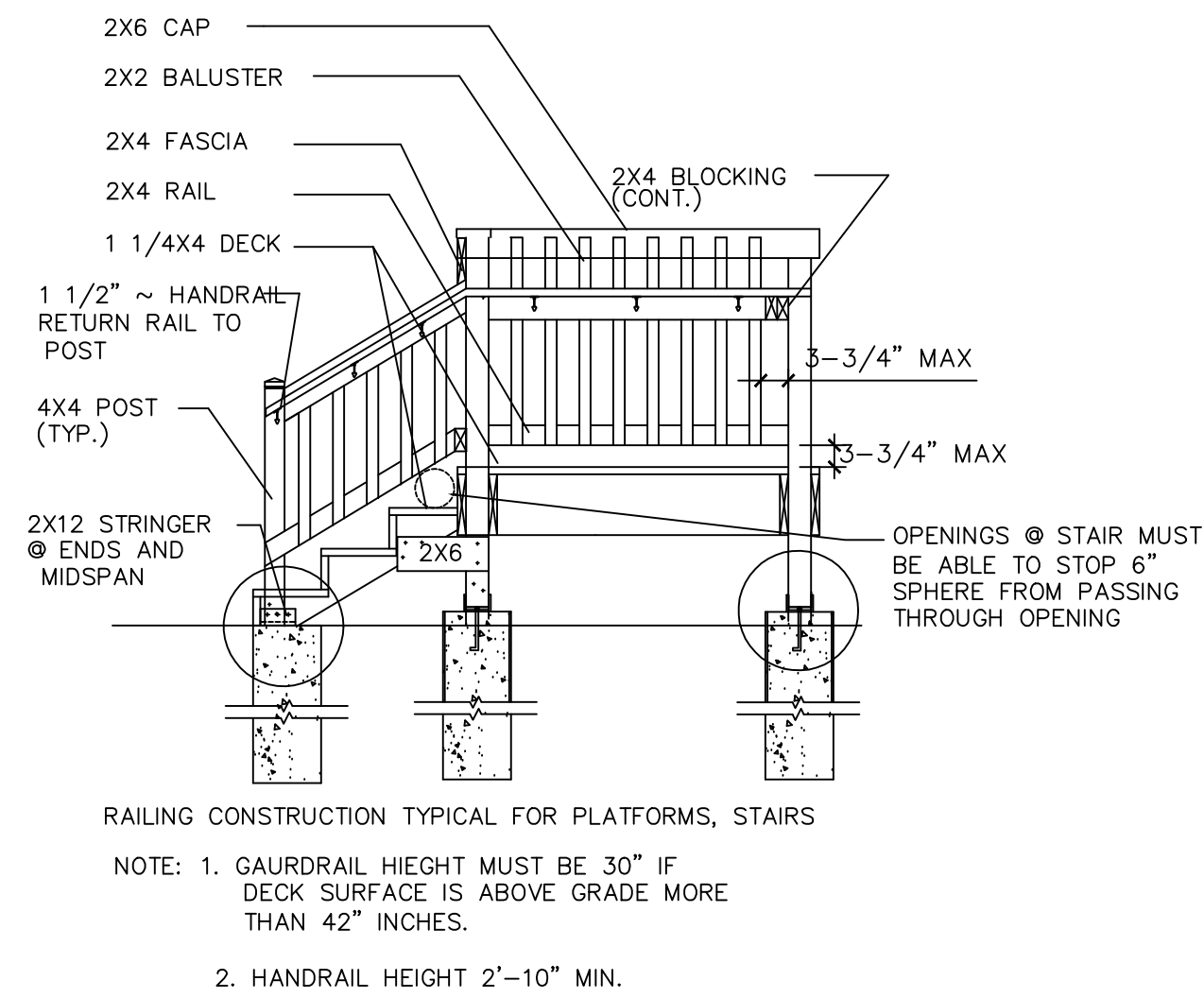
B4 ROOF PLAN
 SCALE: 1/4"=1'-0"



D3 NEW STAIR FTG. DETAIL
 SCALE: 1/4"=1'-0"



D4 DETAIL @ NEW STAIR
 SCALE: 1/4"=1'-0"



D5 TYPICAL WD. STAIR DETAIL
 SCALE: 1/4"=1'-0"



A1 EXISTING PICTURES OF FRONT ELEVATION
SCALE: N.T.S.



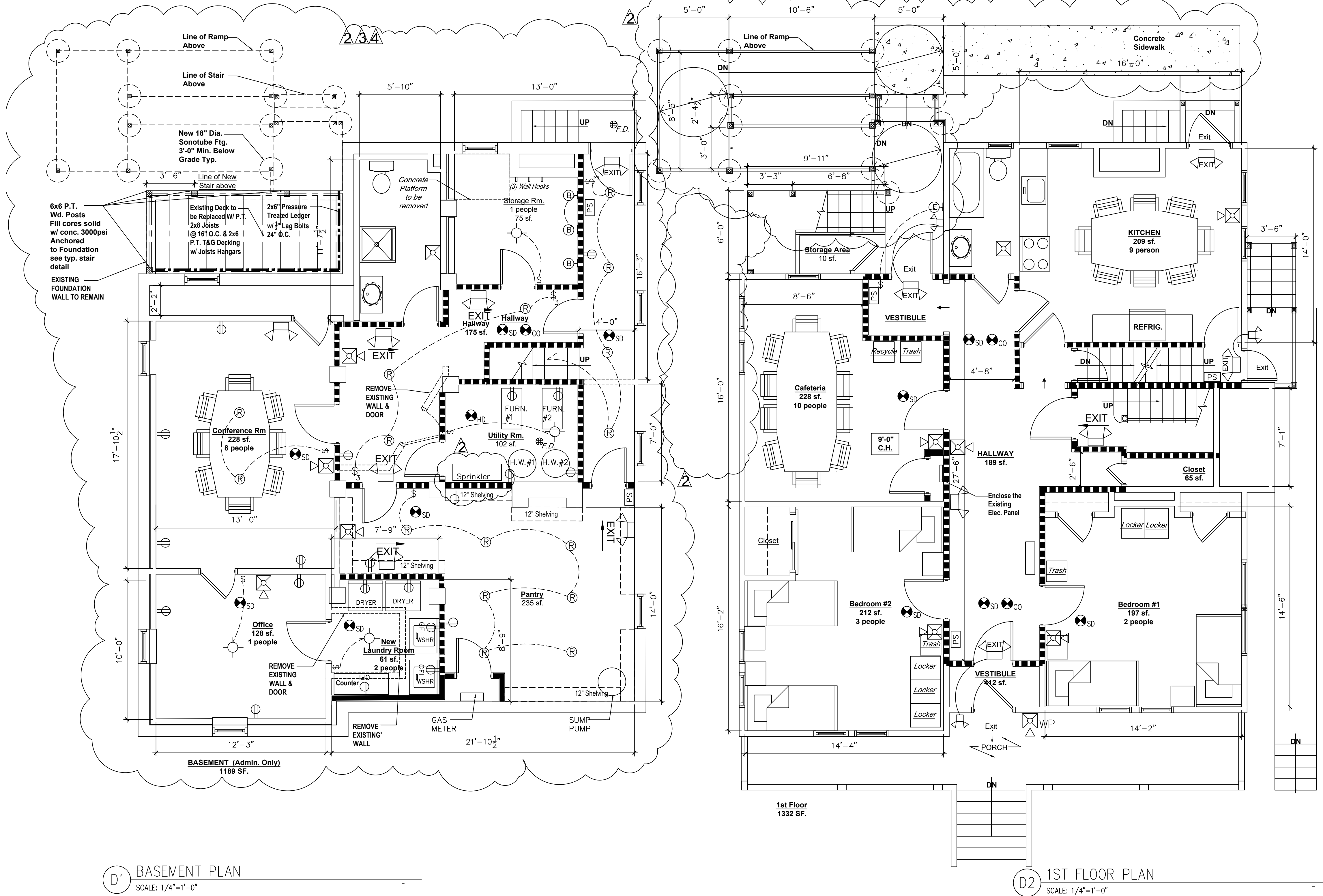
A2 EXISTING PICTURES OF REAR ELEVATION
SCALE: N.T.S.



A3 EXISTING PICTURES OF LEFT ELEVATION
SCALE: N.T.S.



A4 EXISTING PICTURES OF RIGHT ELEVATION
SCALE: N.T.S.



D1 BASEMENT PLAN
SCALE: 1/4"=1'-0"

D2 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

Occupants
1st Floor: 5 Residents
2nd Floor: 10 Residents
3rd Floor: 5 Residents
w/ 1 Operator
Total = 21

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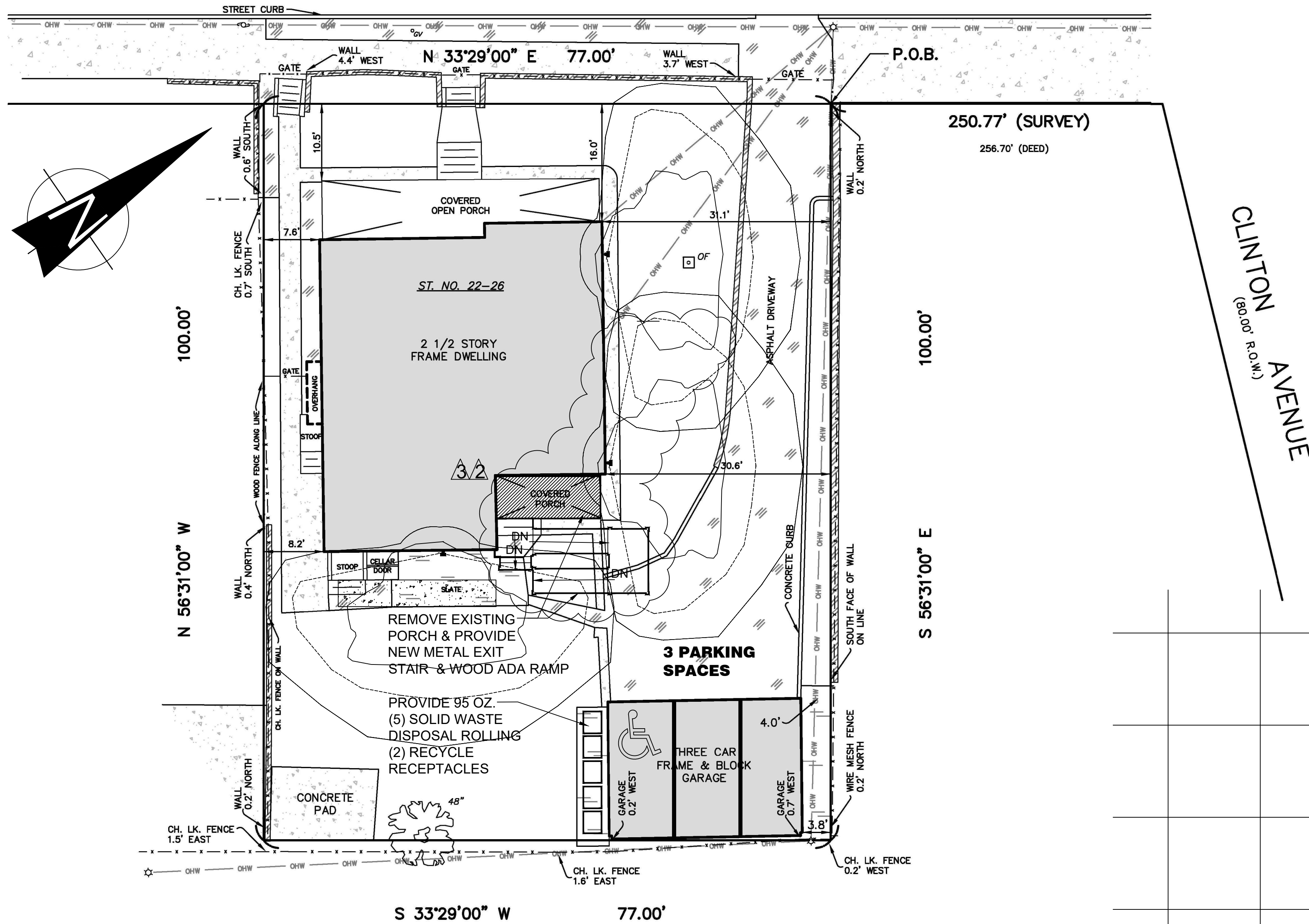
Sheet Title:
**Existing Pictures,
Basement & 1st
Floor Plans**

Project No: 06172019
Scale: AS SHOWN ON SHEET
Designed: Chris Sanders
Drawn by: Chris Sanders
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Date: June 17, 2019

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A-1

Single Family Residence Conversion into
Sunset Boarding Home, LLC
22-26 Coit St., Irvington, NJ
Block: 201 ; Lot:7



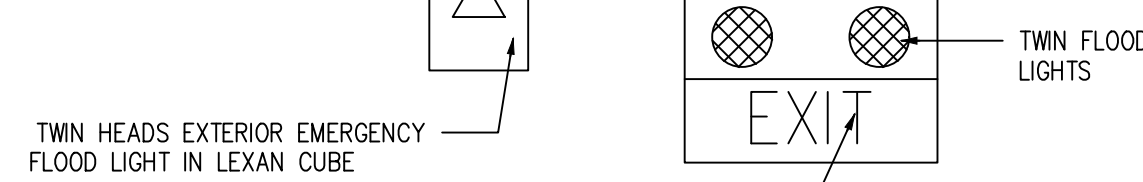
B1 SITE PLAN w/ LIGHTING
SCALE: 1"=10'-0"

Note: survey obtained by owner
completed by licensed landsurveyor

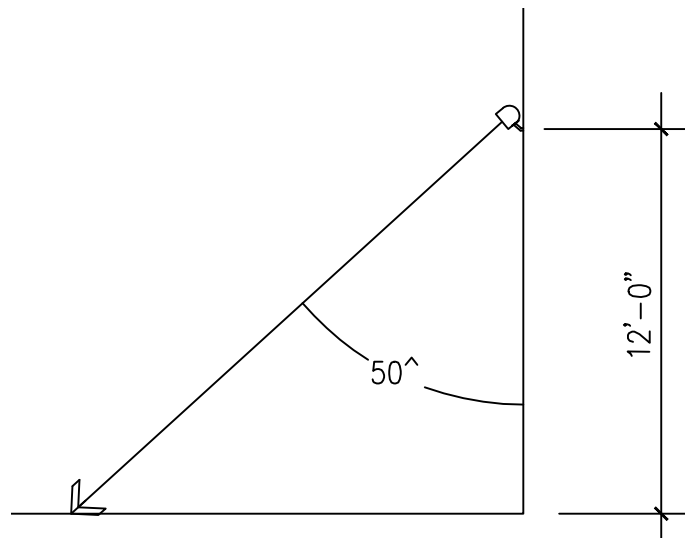
CONNECT TO 120/227V LOCAL LIGHTING CIRCUIT
(AHEAD OF ANY SWITCHING) FOR CHARGING AND
AREA PROTECTION IN ACCORDANCE WITH
N.E.C. 700-12.

NOTE: IN AREAS WHERE (3) OR MORE GENERAL
LIGHTING CIRCUITS ARE PROVIDED, THE BATTERY
UNITS HAVE DEDICATED CIRCUITS AS PER
700-12 (F) EXCEPTION 1.

NOTE: CONTRACTOR'S OPTION
TO PROVIDE EXIT SIGNS
WITH COMBINATION UNITS AS SHOWN,
OR PROVIDE SEPARATE EMERGENCY
LIGHTS MOUNTED NEXT TO DOOR AND
WIRED IN SIMILAR FASHION.



TWIN HEADS EXTERIOR EMERGENCY
FLOOD LIGHT IN LEXAN CUBE



D1 EXIT LIGHT
SCALE: N.T.S.

D2 PICTURE OF EXTERIOR LIGHT
SCALE: N.T.S.

D3 EXTERIOR LIGHT MOUNTING HEIGHT
SCALE: N.T.S.

D4 PHOTOMETRIC FIXTURE LAYOUT
SCALE: NTS

SCOPE OF WORK:		SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE
THE WORK TO BE PERFORMED SHALL BE CLASSIFIED AS: "REPAIR" IN ACCORDANCE WITH N.J.A.C. 5:23-6.4 "RENOVATION" IN ACCORDANCE WITH N.J.A.C. 5:23-6.5 "ALTERATION" IN ACCORDANCE WITH N.J.A.C. 5:23-6.6.		1	S-1	SURVEY
THE SCOPE OF WORK TO BE DONE IN THIS DOCUMENT IS AS FOLLOWS: 1. DOCUMENT EXISTING CONDITIONS FLOOR PLANS AND SITE PLAN 2. CONVERT EXISTING SINGLE FAMILY RESIDENCE TO BOARDING HOME 3. PROVIDE NEW EXIT FROM THE 3RD FLOOR & EXIT STAIR & ADA RAMP		2	T-1	COVER SHEET CODE DATA & SITE PLAN w/ LIGHTING
		3	A-1	EXISTING PICTURES, BASEMENT & 1ST FLOOR PLANS
		4	A-2	2ND & 3RD FLOOR PLANS
		5	A-3	ELEVATIONS
CODE COMPLIANCE:		BUILDING CODE DATA:		
ALL WORK SHALL BE IN ACCORDANCE WITH THE NJCC Subchapter 6 REHAB. SUBCODE (N.J.A.C. 5:23 - 6) AND ALL APPLICABLE REFERENCED SUBCODES.		ALL WORK SHALL BE IN ACCORDANCE WITH THE NJCC REHAB. SUBCODE (N.J.A.C. 5:23 - 6) AND ALL APPLICABLE REFERENCED SUBCODES.		
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BULK ZONING REQUIREMENTS - M-2 USE PERMITTED WITH CONDITIONAL USE PERMIT REQUIRES PLANNING BOARD APPROVAL				

LEGEND	
Ⓟ	PENDANT MOUNTED FIXTURE
Ⓛ	FLOURESCENT 1'x4' FIXTURE
Ⓢ	SURFACE MOUNTED INCANDESCENT FIXTURE
Ⓡ	RECESSED INCANDESCENT FIXTURE
Ⓢ	FAN/LIGHT COMBINATION
Ⓢ	WALL MOUNTED LIGHT FIXTURE
Ⓢ	EXTERIOR LIGHT FIXTURE ON SENSOR
----	EXISTING WALL TO BE REMOVED
---	NEW WALL @ INTERIOR 2x4 WD. STUDS @ 16" O.C. 5/8" CWB. @ EX. SIDE
---	NEW WALL @ EXTERIOR 2x4 WD. STUDS @ 16" O.C. 5/8" ON INTERIOR 1/2" PLYWD. @ EXTERIOR 15# BLDG. PAPER, R-13 INSUL. VINYL SIDING TO MATCH EXISTING
---	INFILL WALL SEE WALL TYPES ABOVE FOR EXTERIOR OR INTERIOR WALL DESCRIPTIONS
---	EXISTING WALL TO REMAIN
----	1 HR RATED WALL 1/2" TYPE "X" GYP. BD. ONE SIDE
---	EXISTING DOOR TO BE REMOVED
---	EXISTING DOOR
---	NEW DOOR (SELECTED BY OWNER) NOTE: ALL INTERIOR DOORS TO BATHROOMS & BEDROOMS PROVIDE 1" UNDERCUT FOR VENTING & LOCKSET HARDWARE
N.I.C. V.I.F. A.F.F. CJ	NOT IN CONTRACT VERIFY IN FIELD ABOVE FINISH FLOOR CONTROL JOINT
Ⓢ	EXISTING SMOKE DETECTOR
Ⓢ	CARBON MONOXIDE DETECTOR
Ⓢ	COMBINATION CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR
Ⓢ	HEAT DETECTOR
---	NEW ELECTRICAL CONDUIT
Ⓢ	NEW ELECTRICAL RECEPTACLE MOUNT @ 12" A.F.F.
Ⓢ	GROUND FAULT INTERRUPTER RECEPTACLE MOUNT BATHROOM GFI @ 38" A.F.F. MOUNT KITCHEN GFI @ 48" A.F.F. (WALL HT. 12" AFF)
Ⓢ	SINGLE LIGHT SWITCH
Ⓢ	TRIPLE LIGHT SWITCH
Ⓢ	TRIPLE LIGHT SWITCH IN LOCK BOX
---	WALL SECTION
---	EMERGENCY LIGHTS
---	EXIT/ EMERGENCY LIGHT COMBO.
N.I.C. V.I.F. A.F.F.	NOT IN CONTRACT VERIFY IN FIELD ABOVE FINISH FLOOR
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APPROVALS	
BOARD CHAIRMAN	DATE
BOARD SECRETARY	DATE
CITY ENGINEER	DATE

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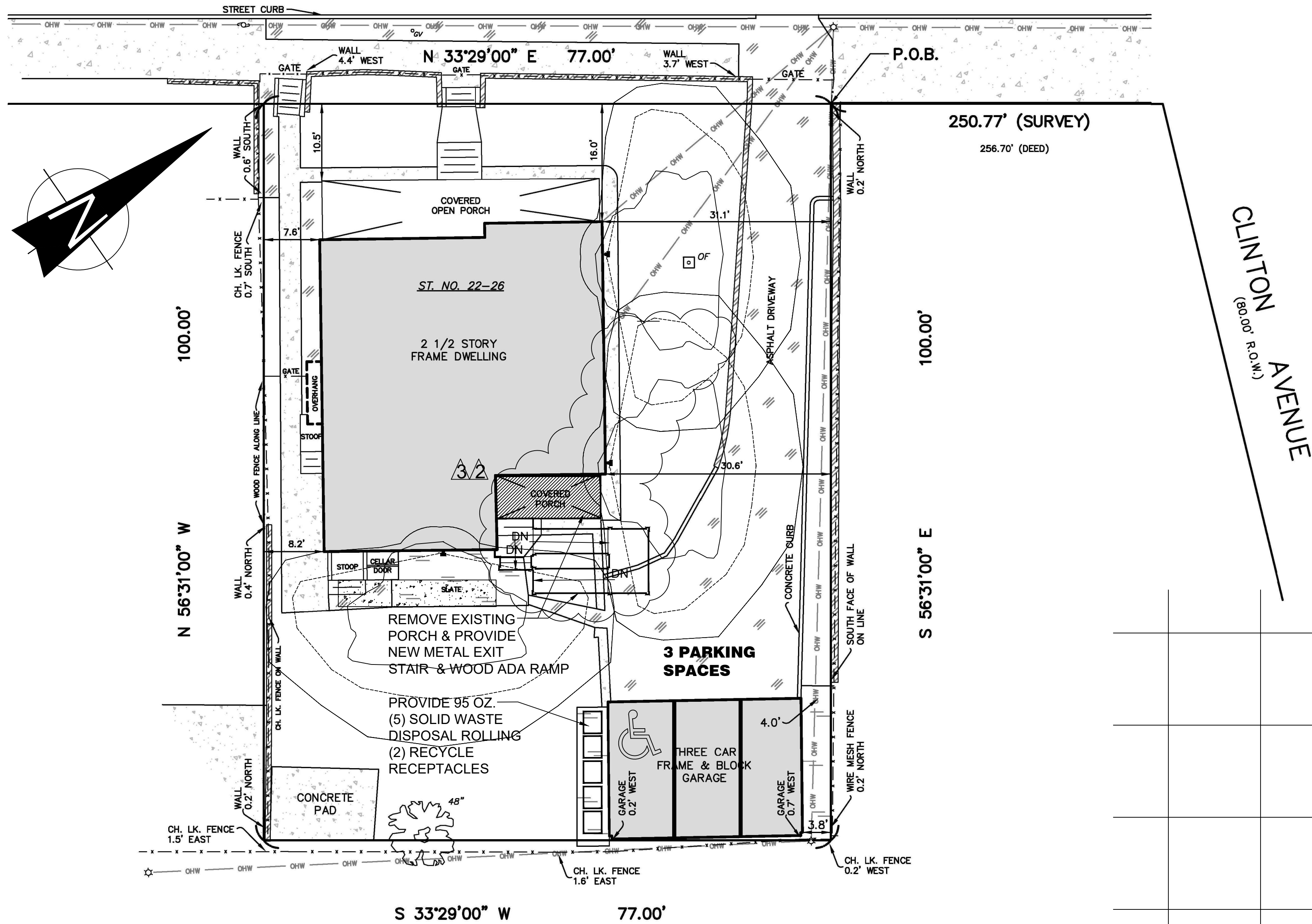
Sheet Title:
TITLE SHEET
Basement
& 1st Floor

Project No:	06172019
Scale:	AS SHOWN ON SHEET
Designed:	Chris Sanders
Drawn by:	Chris Sanders
Checked by:	Roderick Watkins
Date:	June 17, 2019

Stamp: Drawing No.:

T-1

Single Family Residence Conversion into
Sunset Boarding Home, LLC
22-26 Coit St., Irvington, NJ
Block: 201 ; Lot:7



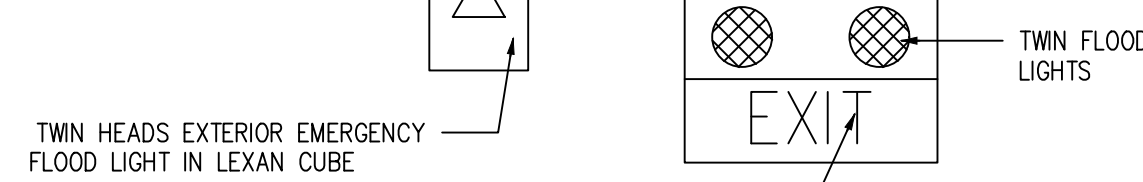
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SCALE: 1"=10'-0"

Note: survey obtained by owner
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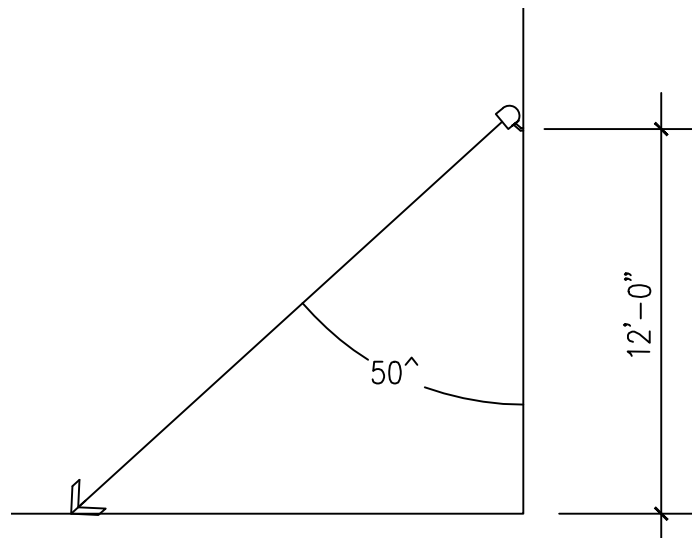


TWIN HEADS EXTERIOR EMERGENCY
FLOOD LIGHT IN LEXAN CUBE

UNIVERSAL MOUNTING EXIT LIGHT
WITH EMERGENCY FLOOD LIGHTS
& INTEGRAL BATTERY BACK-UP.



D2 PICTURE OF EXTERIOR LIGHT
SCALE: N.T.S.



D3 EXTERIOR LIGHT MOUNTING HEIGHT
SCALE: N.T.S.



D4 PHOTOMETRIC FIXTURE LAYOUT
SCALE: N.T.S.

Owner : 22-26 Coit St. Property, LLC (917)687-5001

SCOPE OF WORK:	SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE
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USE PERMITTED WITH CONDITIONAL USE PERMIT
REQUIRES PLANNING BOARD APPROVAL

- LEGEND
- P PENDANT MOUNTED FIXTURE
 - F FLOURESCENT 1'x4' FIXTURE
 - S SURFACE MOUNTED INCANDESCENT FIXTURE
 - R RECESSED INCANDESCENT FIXTURE
 - FAN/LIGHT COMBINATION
 - W WALL MOUNTED LIGHT FIXTURE
 - E EXTERIOR LIGHT FIXTURE ON SENSOR
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APPROVALS

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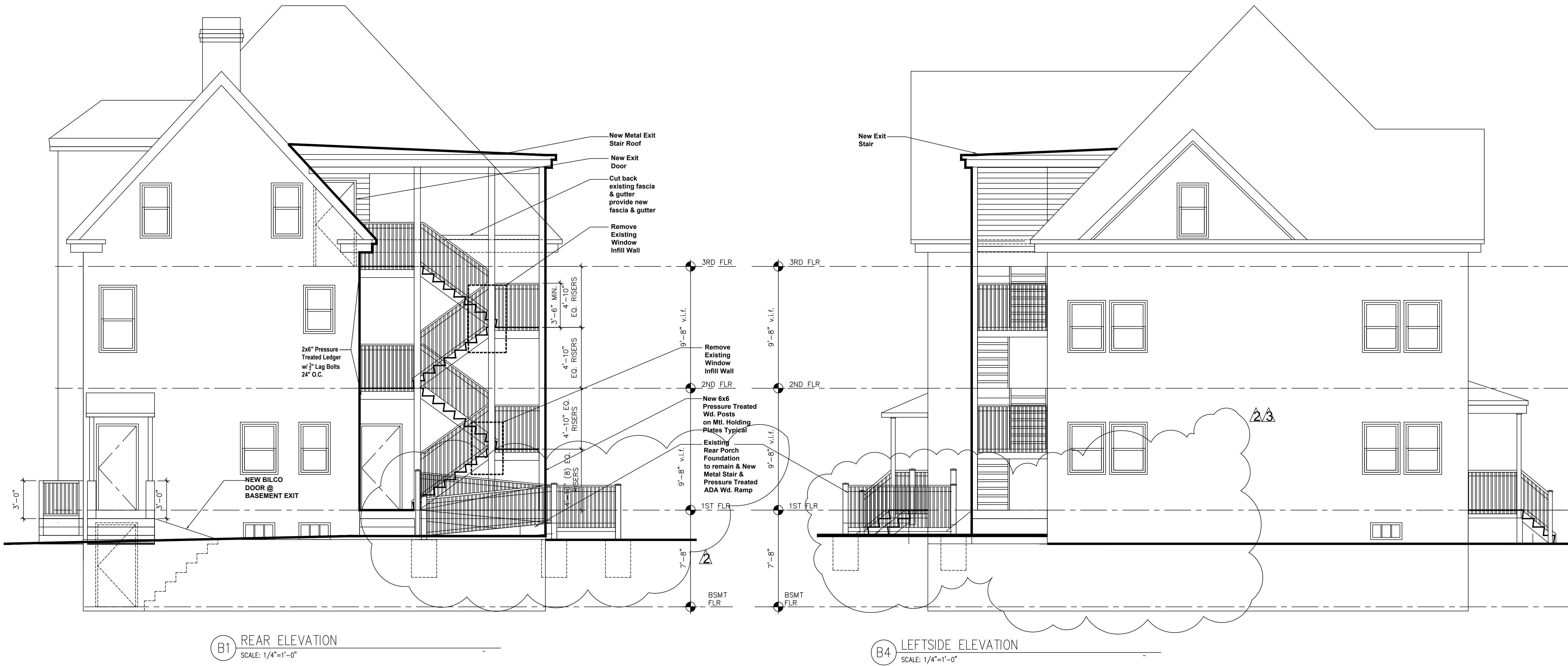
Key Plan:

TITLE SHEET Basement & 1st Floor

Project No:	06172019
Scale:	AS SHOWN ON SHEET
Designed:	Chris Sanders
Drawn by:	Chris Sanders
Checked by:	Roderick Watkins
Date:	June 17, 2019

Stamp: Drawing No.:

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Sheet Title:

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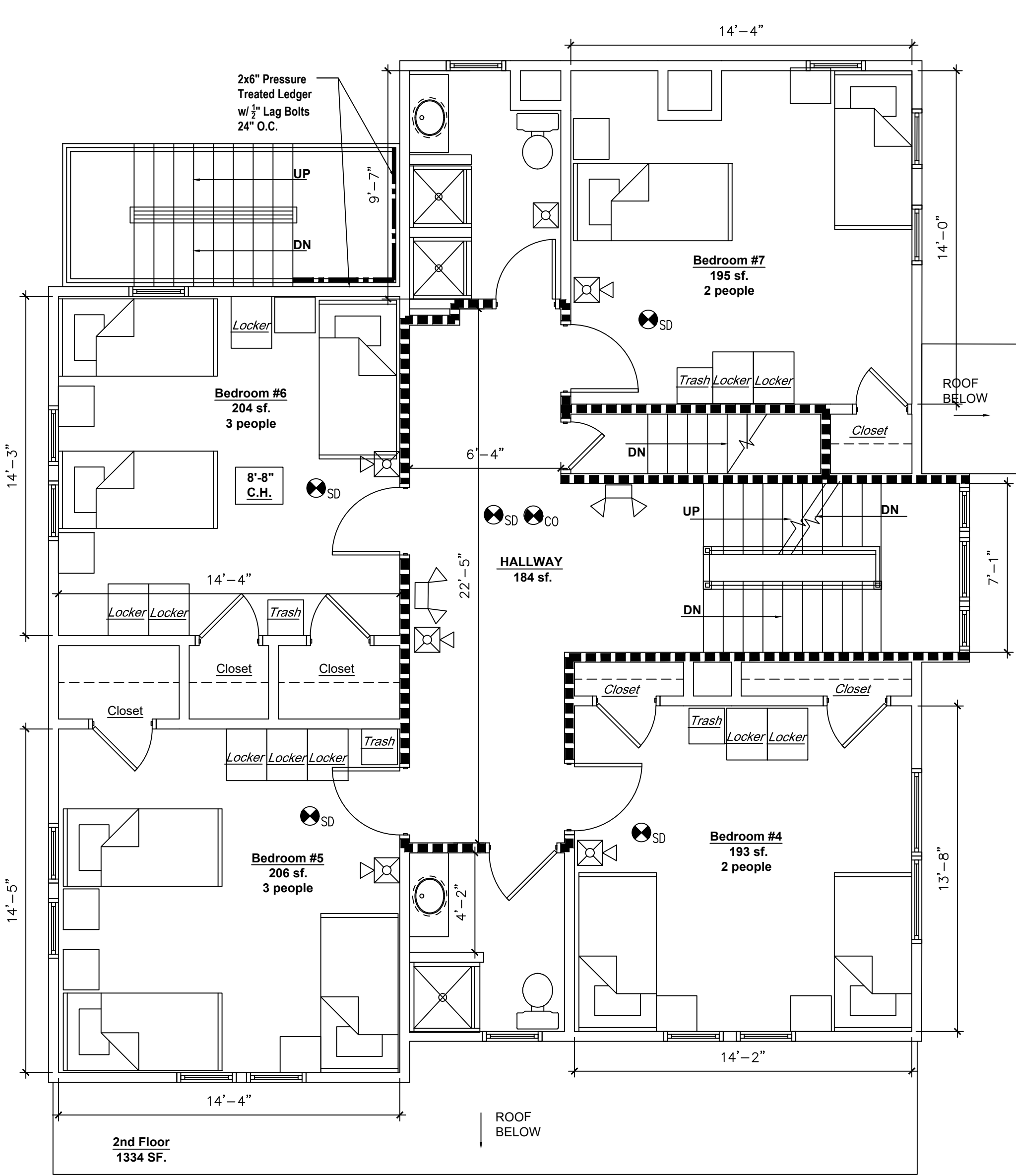
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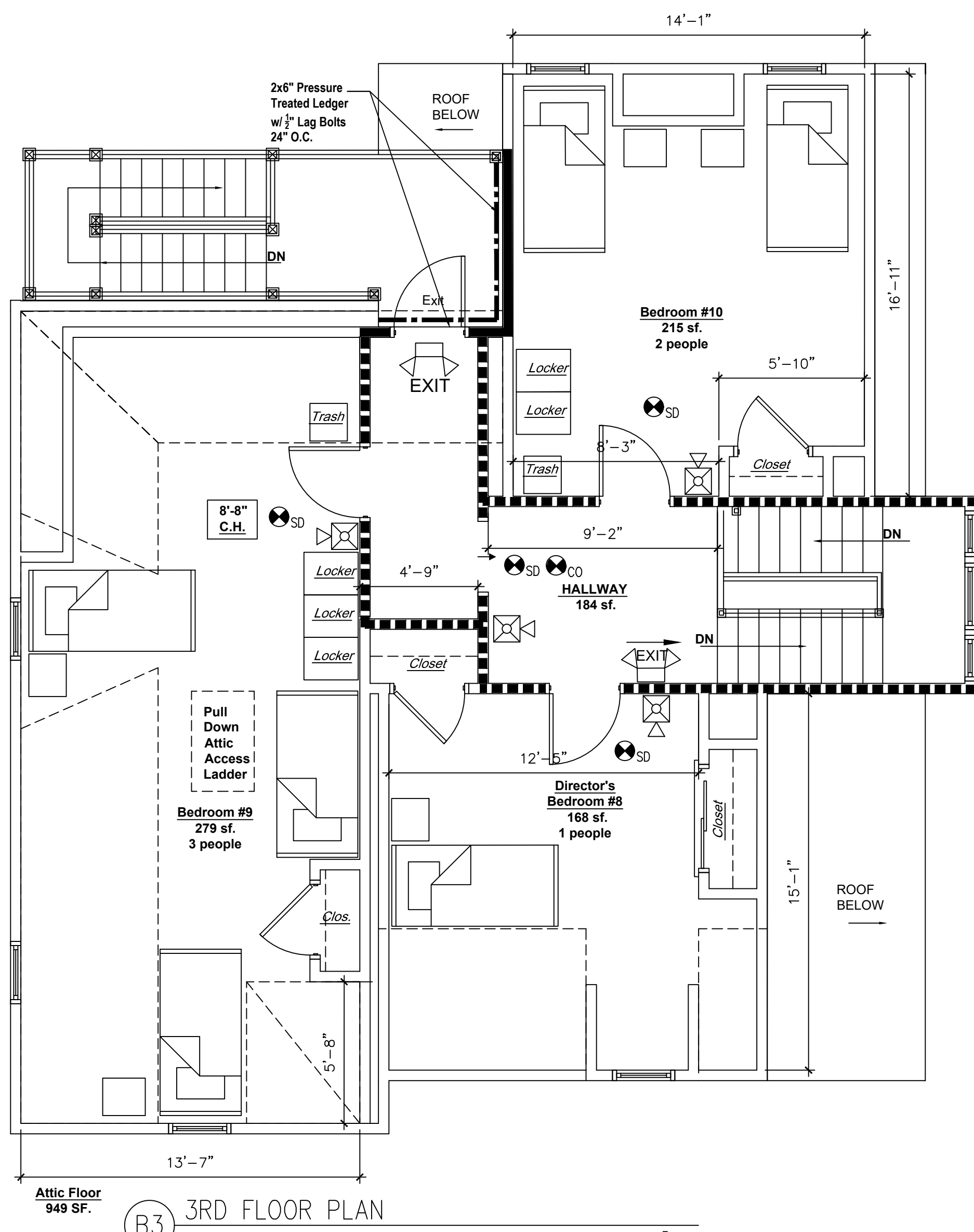
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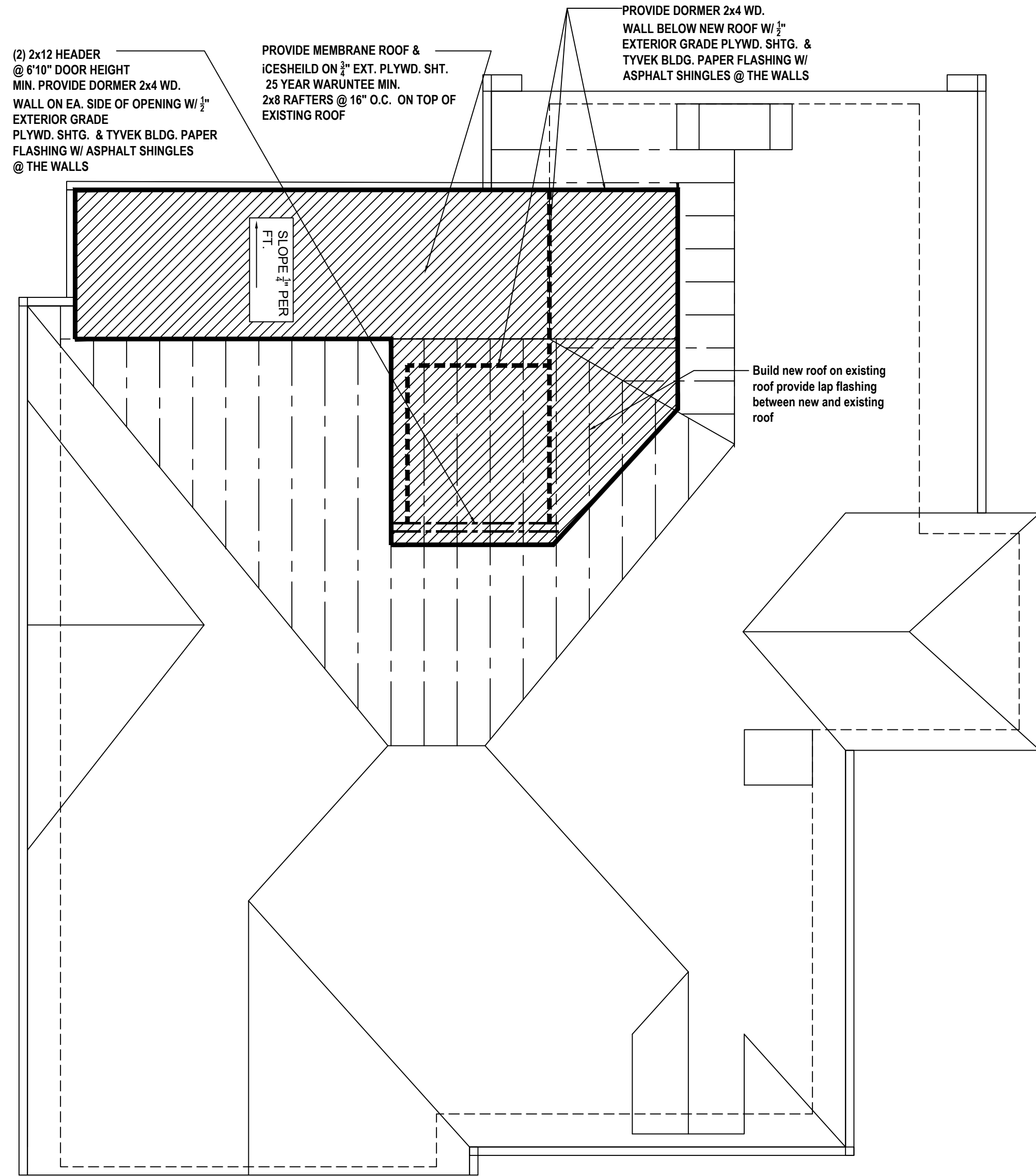
A-2



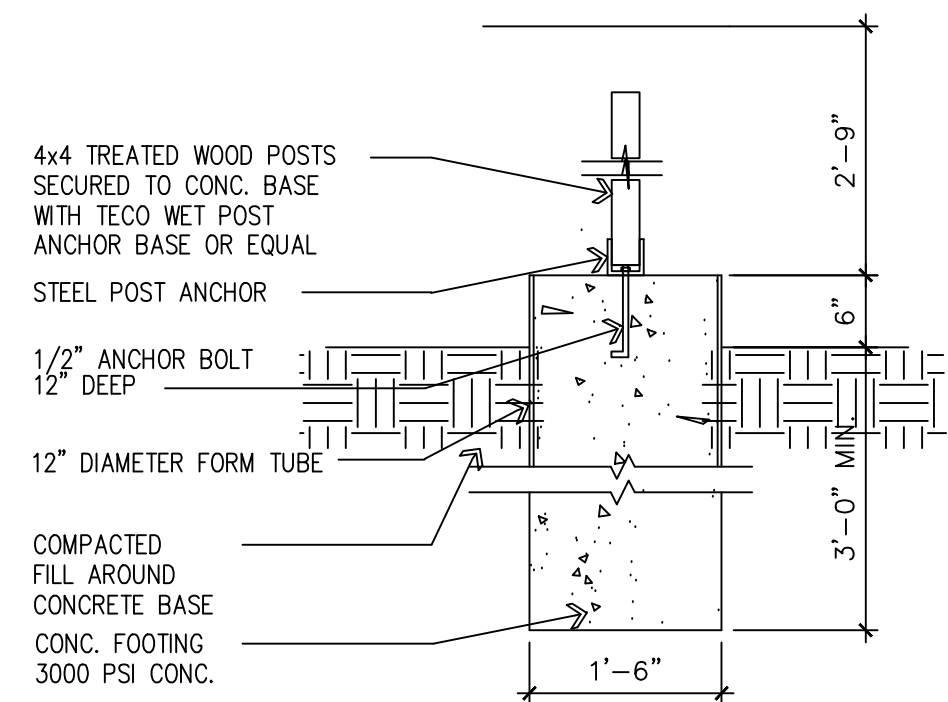
B1 2ND FLOOR PLAN
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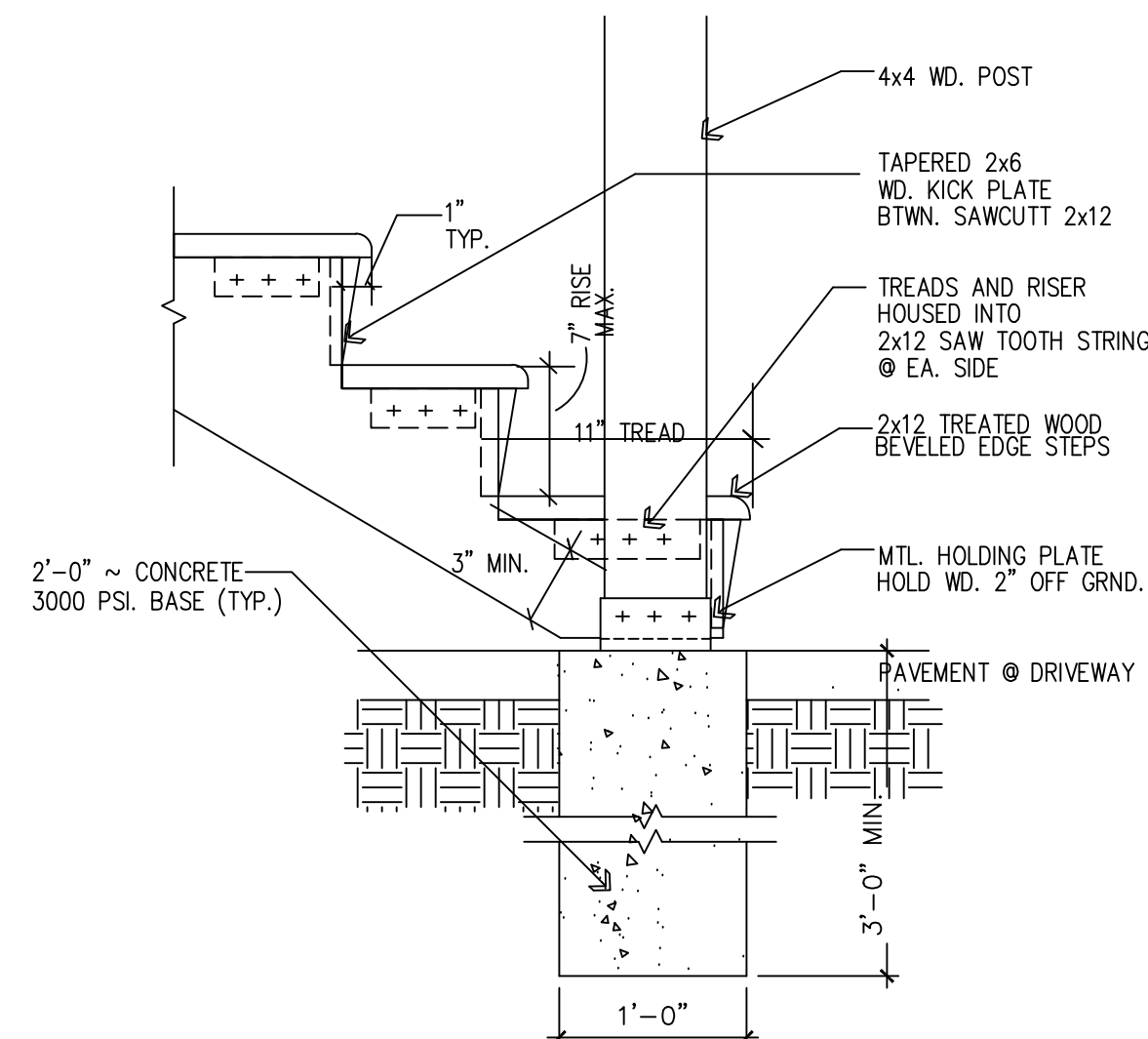
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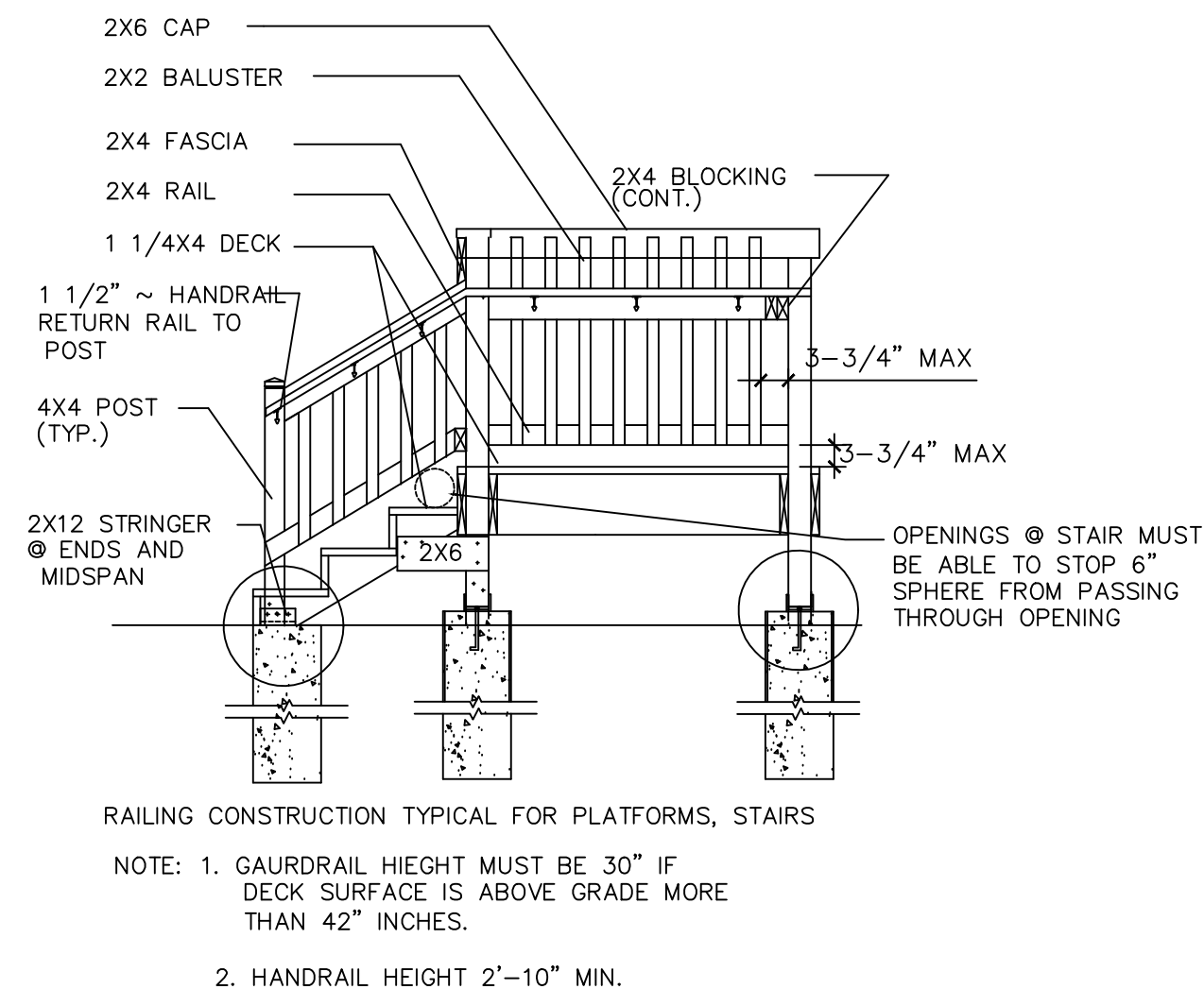
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D3 NEW STAIR FTG. DETAIL
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D4 DETAIL @ NEW STAIR
 SCALE: 1/4"=1'-0"



D5 TYPICAL W.D. STAIR DETAIL
 SCALE: 1/4"=1'-0"



A1 EXISTING PICTURES OF FRONT ELEVATION
SCALE: N.T.S.



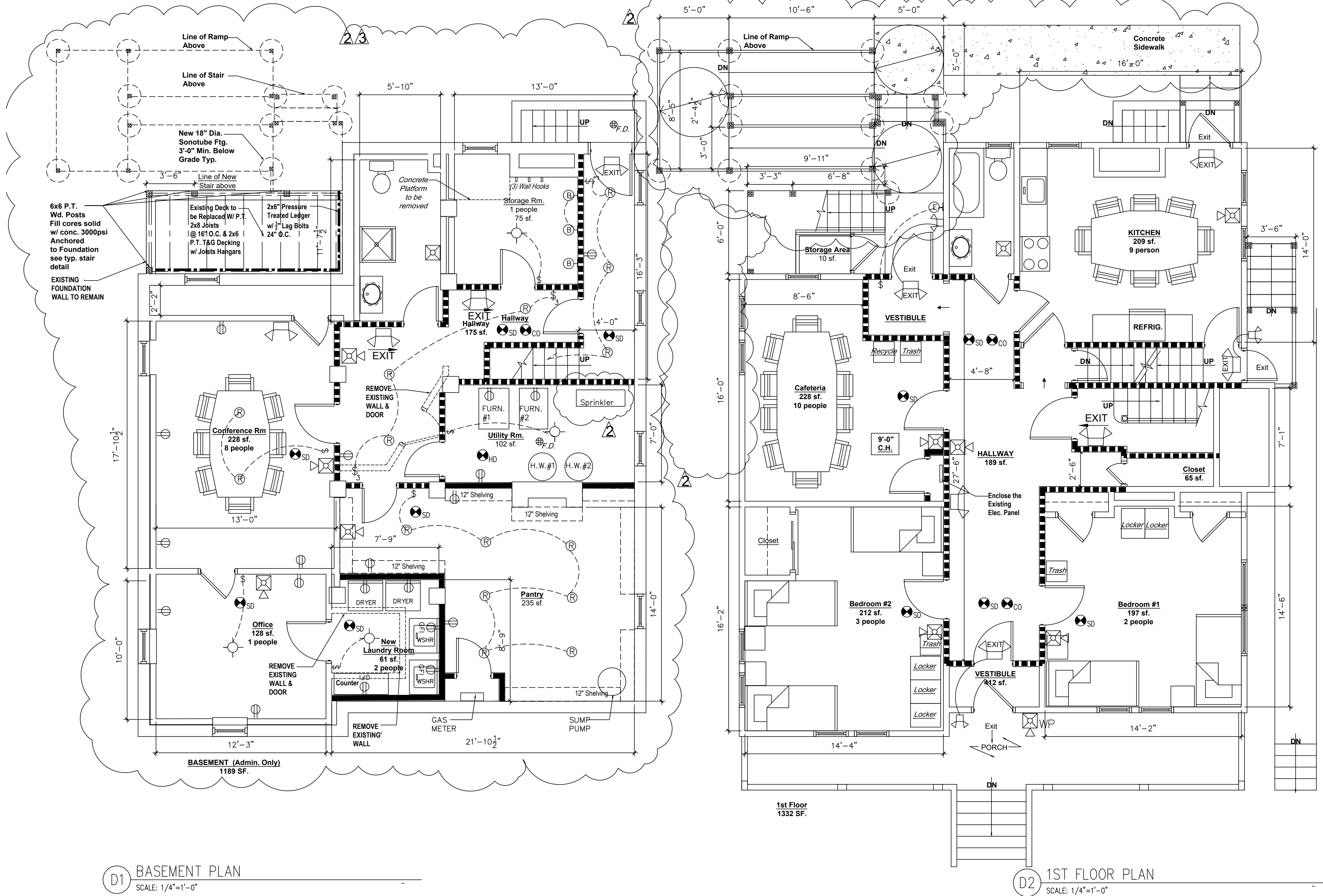
A2 EXISTING PICTURES OF REAR ELEVATION
SCALE: N.T.S.



A3 EXISTING PICTURES OF LEFT ELEVATION
SCALE: N.T.S.



A4 EXISTING PICTURES OF RIGHT ELEVATION
SCALE: N.T.S.



D1 BASEMENT PLAN
SCALE: 1/4"=1'-0"

D2 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

Occupants
1st Floor: 5 Residents
2nd Floor: 10 Residents
3rd Floor: 5 Residents
w/ 1 Operator
Total = 21

**CONVERT EXISTING
SINGLE FAMILY
RESIDENCE INTO A
ADULT BOARDING HOME**

Tax Lot - 7; Block - 201
22-26 Coit Street,
Irvington Twp., Essex County,
New Jersey 07111

wsm
ASSOCIATES
www.wsmassociatesllc.com

Roderick G. Watkins, Architect
40 Clinton Street, Suite 300
Newark, Essex County,
New Jersey 07102

Tel. 1908.591.1357
N.J. LIC. NUMBER: AI016257

3	Revision 11-2-2020
2	Revision 2-24-2020
1	6-17-2019 Planning Board Submission
No.	Date Revision

Key Plan:

Sheet Title:
**Existing Pictures,
Basement & 1st
Floor Plans**

Project No:	06172019
Scale:	AS SHOWN ON SHEET
Designed:	Chris Sanders
Drawn by:	Chris Sanders
Checked by:	Roderick Watkins
Date:	June 17, 2019

Stamp: Drawing No.:

A-1

TOWNSHIP OF IRVINGTON PLANNING BOARD AND ZONING BOARD

SITE PLAN AD ZONING BOARDS

(TO BE SUBMITTED WITH APPLICATION)

The check list is designed to assist both the applicant, Planning Board & Zoning Board assessing completeness of plans submitted for review. Applicant must check of each item to ensure that it is included on the plan. ITEMS OMITTED WILL RESULT IN THE APPLICATION BEING DECLARED INCOMPLETE WIT RESULTANT DELAY IN CONSIDERATION BY THE BOARD. Utility plans, landscaping plans, architectural elevations, etc. may be shown on separate sheets.

As a guide to what must be shown on the Plans and/or submitted to the Township Planning Board Secretary, the applicant should refer to Zoning Ordinance Chapter 197 ad subdivision and Site Plan Review Ordinance Chapter 174. You or your preparer should be familiar with the Municipal Land Use Law chapter 291, Laws of N.J.1975 as amended.

Professional preparing plans should refer to Subchapter 7 "Permissible Division of Responsibility in Submission of Site Plans and Major Subdivision Plats" specifically 13:40-7.1; 13:40-7.2; 13:40-7.3 and 13:40-7.4.

Plans submitted must be signed and sealed by the representing professional licensed to practice said profession by the State of New Jersey.

Remember that this is only a guide see chapter 174 for specific requirements.

20 Copies for Planning Board Applications

16 Copies for Board of Adjustment Applications

____ (20) Copies of Plan on standard sheet sizes (18" x 24") or (24" x 36") each folded to approximately 9"x12" Packet with title block exposed.

____ N/A Storm Water detention calculation form and storage facility details.

____ N/A Sanitary Sewer calculation form and tie the location in details

✓ ____ Place for signature of Chairman and Secretary of Planning Board.

✓ ____ Place for signature of Township Engineer.

✓ ____ Tax map lot and Block numbers.

✓ ____ Date, scale and "north" sign.

✓ ____ Key map of the site with reference to surrounding areas and existing street location.

✓ ____ Zone district in which property in question falls, zone district of adjoining property and all property within a 200-foot radius of the property in question.

✓ ____ Names of owners of all contiguous land and adjacent property...

✓ ____ Dimensions of lot, setbacks, front yard, side yards and rear yard, size, and kind of location of fences.

✓ ____ Location dimensions and details of all signs and exterior lighting including type of standards, location, radius of light and intensity in foot candles.

✓ ____ The outside dimension of existing and/or proposed principal building(s) and all accessory structures.

____ N/A Storm drainage plan showing location of inlets, pipes, swales, berms ad other storm drainage facilities including roof leaders.

____ N/A Right-of-way, easements and all lands to be dedicated to the municipality or reserved for specific uses.

✓ The entire property in question, even though only a portion of said property is involved in the site plan or subdivision, provided, however, were it is physically impossible to show the entire property on the required sheet, a separate map at an appropriate scale may be submitted.

N/A Significant existing physical features including streams, water courses, rock outcrops, swampy soil, etc.

✓ Plans of off-street parking area layout and off-street loading facilities showing location and dimensions of individual parking spaces, loading areas, aisles, traffic patterns and driveways for ingress and egress.

✓ All driveways and streets within 200 feet of site.

✓ All existing and proposed curbs and sidewalks.

✓ All existing and proposed utility lines within and adjacent to the subject property.

✓ Typical floor plans and elevations.

N/A Existing and proposed sanitary sewerage disposal system. Hydraulically assess impact on municipal system.

N/A Water supply system.

N/A Methods of solid waste disposal and storage, provisions for recycling.

N/A Existing and proposed spot elevations based upon the US Coastal Geodetic datum at all building corners, all floor levels, center lines of abutting roads, top and bottom curbs, property corners, gutters and other pertinent locations.

N/A Location of all existing trees or tree masses, indicating general sizes and species.

N/A Landscaping and buffering plan showing what will remain and what will be planted indicating names of plants and trees and dimensions, approximate time of planting and method of planting (base rooted, ball and burlap).

N/A Soil and erosion plan as required by statute and proof of approval by the Conservation District.

N/A Show on the plan the required and proposed set back; bulk area coverage; lot area requirement; parking; zone requirements, etc.

N/A Any other pertinent information as may be required by the Planning Board.

DATE OF APPLICATION	SIGNATURE OF PLAN PREPARER
	ADDRESS & PHONE NBR.
NAME & ADDRESS OF APPLICANT: Sunset Boarding Home, LLC	
	1923 McDonald Avenue Unit # 92
	Brooklyn, NY 11223
PHONE NUMBER:	973-500-2030



A1 EXISTING PICTURES OF FRONT ELEVATION
SCALE: N.T.S.



A2 EXISTING PICTURES OF REAR ELEVATION
SCALE: N.T.S.

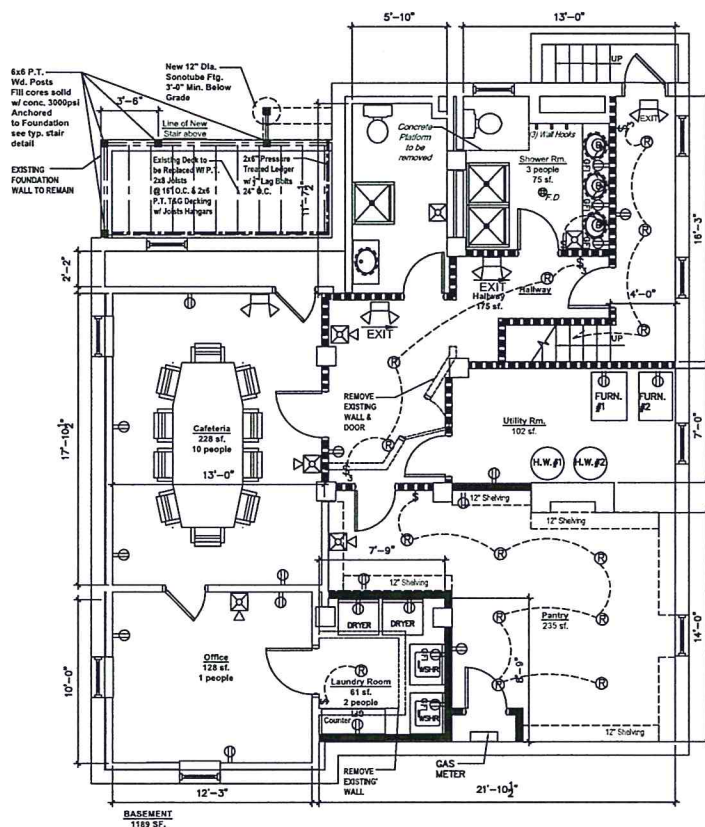


A3 EXISTING PICTURES OF LEFT ELEVATION
SCALE: N.T.S.

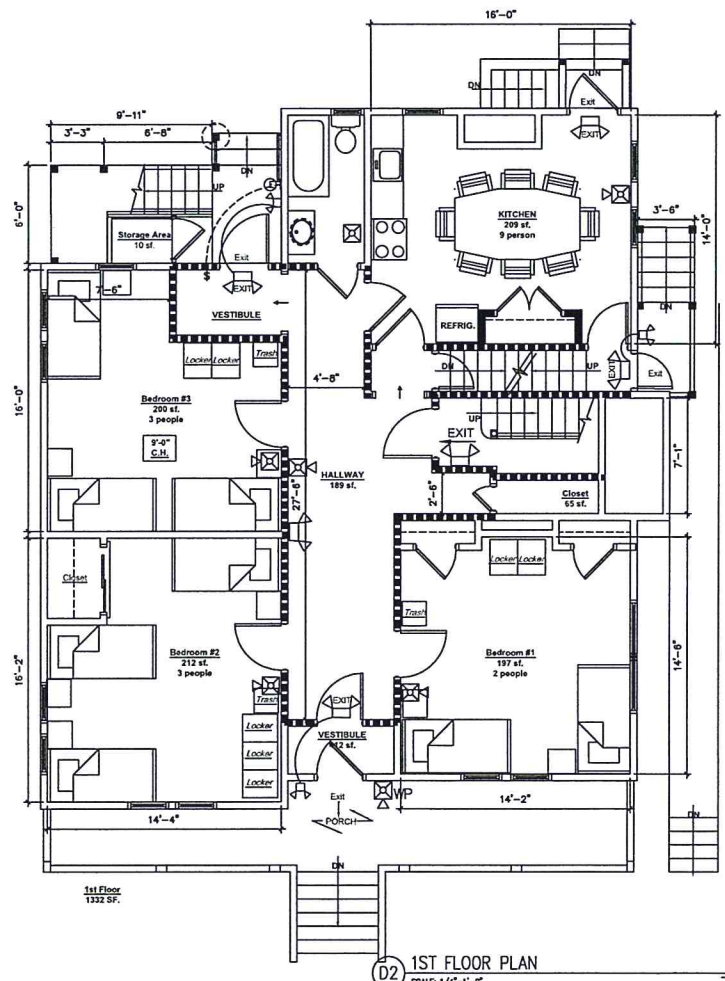


A4 EXISTING PICTURES OF RIGHT ELEVATION
SCALE: N.T.S.

Occupants
1st Floor: 8 Residents
2nd Floor: 10 Residents
3rd Floor: 5 Residents
w/ 1 Operator
Total = 24



D1 BASEMENT PLAN
SCALE: 1/4"=1'-0"



D2 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

CONVERT EXISTING SINGLE FAMILY RESIDENCE INTO A ADULT BOARDING HOME

Tax Lot - 7; Block - 201
22-26 Coit Street,
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N.J. LIC. NUMBER: AI016257

6-17-2019 Planning Board Submission		
No.	Date	Revision
1		

Key Plan:

Existing Pictures, Basement & 1st Floor Plans

Project No: 06172019
Scale: AS SHOWN ON SHEET
Designed: Chris Sanders
Drawn by: Chris Sanders
Checked by: Roderick Watkins
Date: June 17, 2019

Stamp: Drawing No.:
A-1
© 2019 RODERICK G. WATKINS ARCHITECT 2 3

CONVERT EXISTING
 SINGLE FAMILY
 RESIDENCE INTO A
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Tax Lot - 7; Block - 201
 22-26 Coit Street,
 Irvington Twp., Essex County,
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Roderick G. Watkins, Architect
 40 Clinton Street, Suite 300
 Newark, Essex County,
 New Jersey 07102

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 N.J. LIC. NUMBER: AI016257

1	6-17-2019	Planning Board Submission
No.	Date	Revision

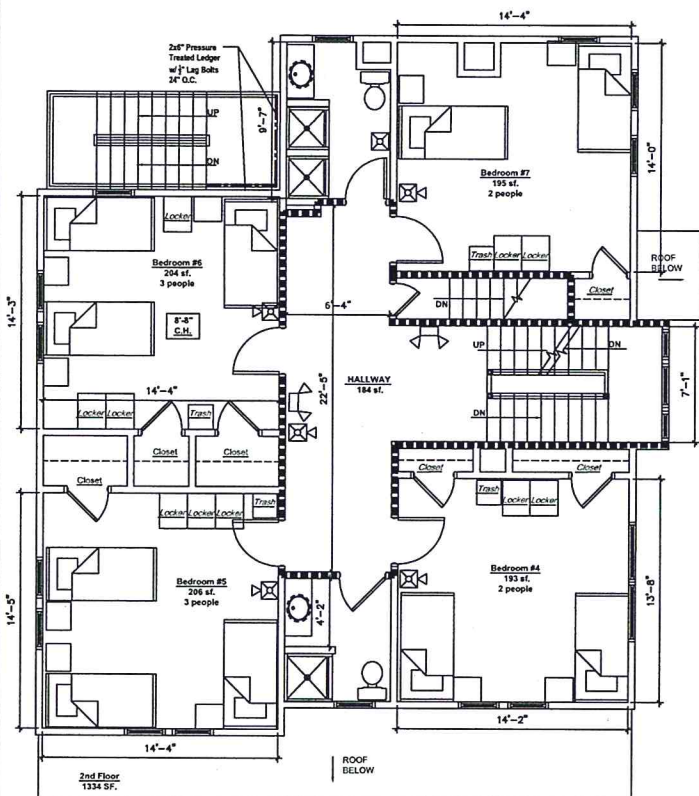
Key Plan:

Existing Pictures,
 2nd & 3rd
 Floor Plans

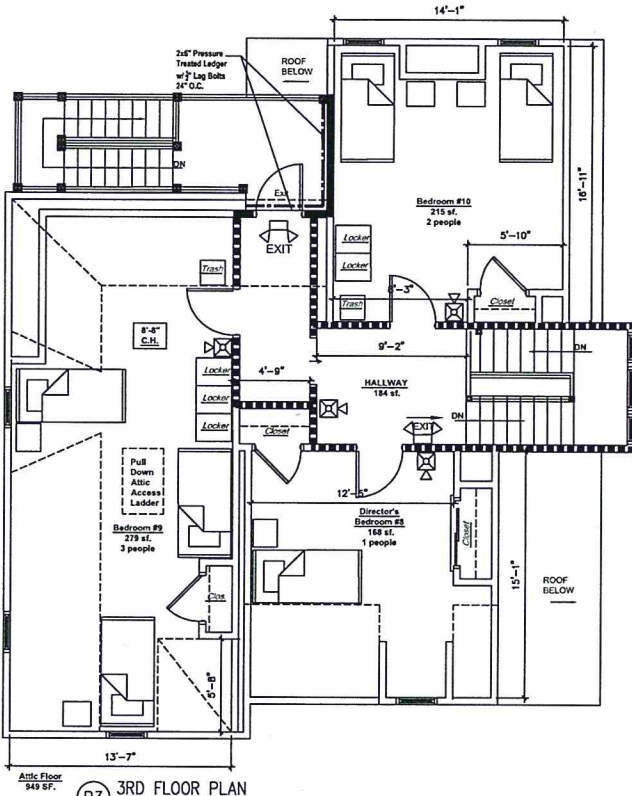
Project No:	06172019
Scale:	AS SHOWN ON SHEET
Designed by:	Chris Sanders
Drawn by:	Chris Sanders
Checked by:	Roderick Watkins
Date:	June 17, 2019

Stamp: Drawing No.:

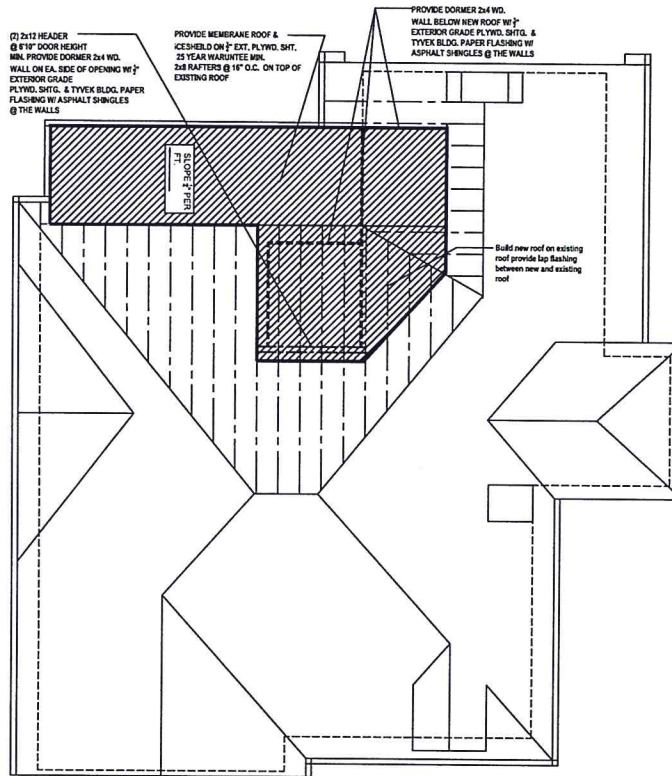
A-2



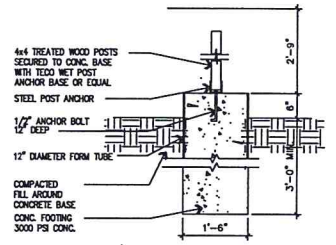
B1 2ND FLOOR PLAN
 SCALE: 1/4"=1'-0"



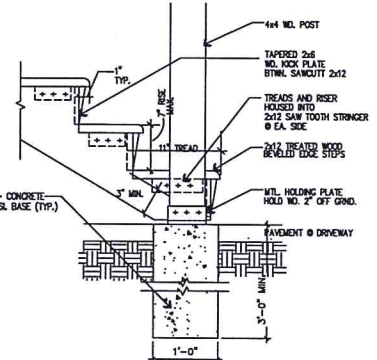
B3 3RD FLOOR PLAN
 SCALE: 1/4"=1'-0"



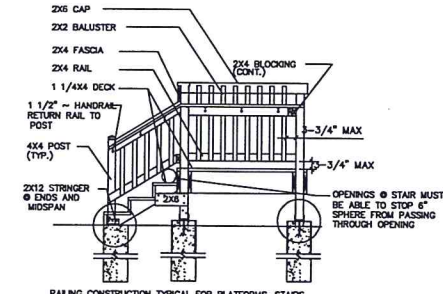
B4 ROOF PLAN
 SCALE: 1/4"=1'-0"



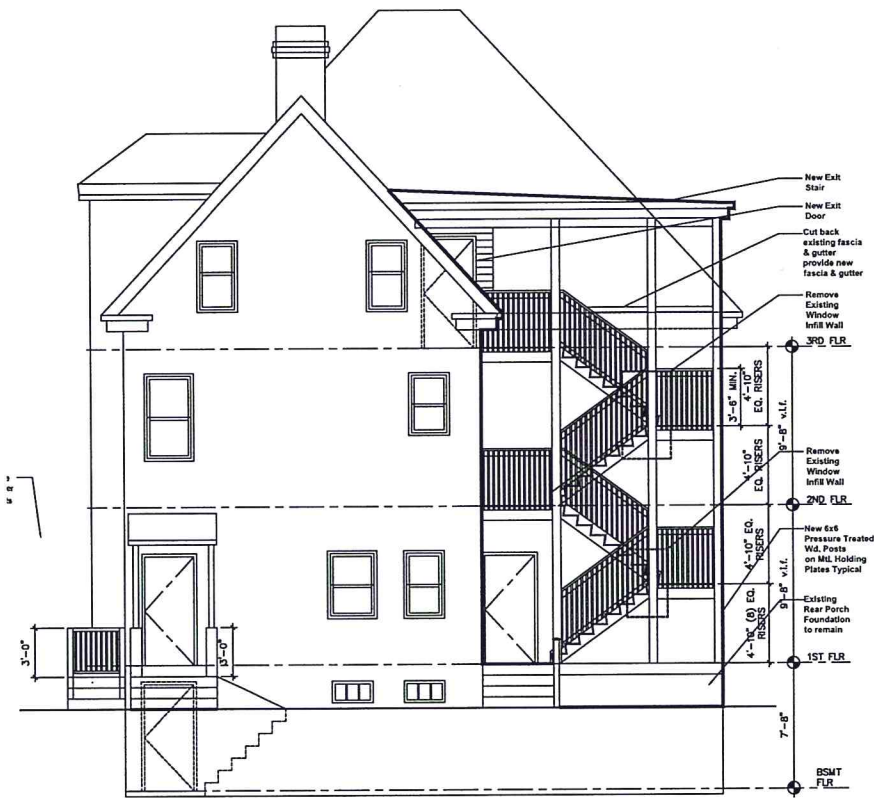
D3 NEW STAIR FTG. DETAIL
 SCALE: 1/4"=1'-0"



D4 DETAIL @ NEW STAIR
 SCALE: 1/4"=1'-0"



D5 TYPICAL WD. STAIR DETAIL
 SCALE: 1/4"=1'-0"



B1 REAR ELEVATION
SCALE: 1/4"=1'-0"



B4 LEFTSIDE ELEVATION
SCALE: 1/4"=1'-0"

**CONVERT EXISTING
SINGLE FAMILY
RESIDENCE INTO A
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Tax Lot - 7; Block - 201
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Irrington Twp., Essex County,
New Jersey 07111

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New Jersey 07102

Tel. 1908.591.1357
N.J. LIC. NUMBER: A1016257

1 6-17-2019 Planning Board Submission

No.	Date	Revision

Key Plan:

Sheet Title:

Elevations

Project No: 86172019

Scale: AS SHOWN ON SHEET

Designed by: Chris Sanders

Drawn by: Chris Sanders

Checked by: Roderick Watkins

Date: June 17, 2019

Stamp: Drawing No.:

A-3

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Single Family Residence Conversion into
Sunset Boarding Home, LLC
22-26 Coit St., Irvington, NJ
Block: 201 ; Lot:7

Owner : 22-26 Coit St. Property, LLC (917)687-5001

SCOPE OF WORK:	SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE
THE WORK TO BE PERFORMED SHALL BE CLASSIFIED AS: "REPAIR" IN ACCORDANCE WITH N.J.A.C. 5:23-6.4 "RENOVATION" IN ACCORDANCE WITH N.J.A.C. 5:23-6.5 "ALTERATION" IN ACCORDANCE WITH N.J.A.C. 5:23-6.6 THE SCOPE OF WORK TO BE DONE IN THIS DOCUMENT IS AS FOLLOWS: 1. DOCUMENT EXISTING CONDITIONS FLOOR PLANS AND SITE PLAN 2. CONVERT EXISTING SINGLE FAMILY RESIDENCE TO BOARDING HOME 3. PROVIDE NEW EXIT FROM THE 3RD FLOOR & EXIT STAIR	1	S-1	ARCHITECTURAL SURVEY
CODE COMPLIANCE:	2	T-1	COVER SHEET CODE DATA & SITE PLAN w/ LIGHTING
	3	A-1	EXISTING PICTURES, BASEMENT & 1ST FLOOR PLANS
	4	A-2	EXISTING PICTURES, 2ND & 3RD FLOOR PLANS
	5	A-3	ELEVATIONS
BUILDING CODE DATA:			
ALL WORK SHALL BE IN ACCORDANCE WITH THE NJCC REHAB. SUBCODE (N.J.A.C. 5:23-6) AND ALL APPLICABLE REFERENCED SUBCODES. REFERENCED SUBCODES: - 2015 INTERNATIONAL BUILDING CODE, NJ EDITION - ICC/ANSI A117-1-2003 & (N.J.A.C. 5:23-7.2) - 2014 NATIONAL ELECTRICAL CODE & (N.J.A.C. 5:23-3.16) - 2015 INTERNATIONAL FIRE CODE - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (N.J.A.C. 5:23-3.20) - 2015 INTERNATIONAL MECHANICAL CODE (IMC) & (N.J.A.C. 5:23-3.22) - 2015 INTERNATIONAL FUEL GAS CODE (IFGC) & (N.J.A.C. 5:23-3.22) All work to be done by licensed & certified plumbing, electrical and mechanical contractor.			USE GROUP - I-1 CONDITION 1 - RESIDENTIAL BOARD AND CARE FACILITY MORE THAN 16 PEOPLE INCLUDING STAFF 24 HOUR BASIS. 1. EXISTING USE GROUP: BOARDING HOME 2. NUMBER OF STORIES: 3 STORIES W/ BASEMENT 3. SPRINKLER: NO 4. EXITS: 5 EXITS 5. AREA OF WORK: REAR EXIT STAIR 6. SPECIFIC USE: BOARDING HOME 7. CONSTRUCTION CLASSIFICATION: SB 8. MAXIMUM LIVE LOAD: 40 PSF 9. MAXIMUM OCCUPANCY LOAD: 23 PERMANENT RESIDENTS 1 OPERATOR 24 TOTAL 10. EXISTING PARKING: 3 SPACES ON SITE.

BULK ZONING REQUIREMENTS - M-2
USE PERMITTED WITH CONDITIONAL USE PERMIT
REQUIRES PLANNING BOARD APPROVAL

- LEGEND
- ① PENDANT MOUNTED FEATURE
 - ② FLOURESCENT T4" FEATURE
 - ③ SURFACE MOUNTED INCANDESCENT FEATURE
 - ④ RECESSED INCANDESCENT FEATURE
 - ⑤ FAULT LIGHT COMBINATION
 - ⑥ WALL MOUNTED LIGHT FEATURE
 - ⑦ EXTERIOR LIGHT FEATURE ON SENSOR
 - ⑧ EXISTING WALL TO BE REMOVED
 - ⑨ NEW WALL @ EXTERIOR 2x4 NO. STUDS @ 16" O.C. 0.5" ON INDOOR 1/2" FLYING @ EXTERIOR 1/4" BUSH. PAPER 1/4" SHAL. W/IN. SHAL. TO MATCH EXISTING
 - ⑩ NEW WALL @ EXTERIOR 2x4 NO. STUDS @ 16" O.C. 0.5" ON INDOOR 1/2" FLYING @ EXTERIOR 1/4" BUSH. PAPER 1/4" SHAL. W/IN. SHAL. TO MATCH EXISTING
 - ⑪ INFILL WALL SEE WALL TYPES ABOVE FOR EXTERIOR OR INTERIOR WALL DESCRIPTIONS
 - ⑫ EXISTING WALL TO REMAIN
 - ⑬ 1 HR. RATED WALL "I" TYPE "X" GYP. NO. ONE SIDE
 - ⑭ EXISTING DOOR TO BE REMOVED
 - ⑮ EXISTING DOOR
 - ⑯ NEW DOOR (SELECTED BY OWNER) NOTE: ALL INTERIOR DOORS TO BATHROOMS & BEDROOMS PROVIDE 1" UNDERCUT FOR VOYING & LOCKSET HARDWARE
 - ⑰ NOT IN CONTRACT
 - ⑱ NOT IN FIELD
 - ⑲ ABOVE FRESH FLOOR
 - ⑳ EXISTING SMOKE DETECTOR
 - ㉑ CARBON MONOXIDE DETECTOR
 - ㉒ COMBINATION CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR
 - ㉓ HEAT DETECTOR
 - ㉔ NEW ELECTRICAL CONDUIT
 - ㉕ NEW ELECTRICAL RECEPTACLE MOUNT @ 12" AFF.
 - ㉖ GROUND FAULT INTERRUPTER RECEPTACLE MOUNT BATHROOM @ 12" AFF. MOUNT KITCHEN @ 12" AFF.
 - ㉗ SINGLE LIGHT SWITCH
 - ㉘ TRIPLE LIGHT SWITCH
 - ㉙ TRIPLE LIGHT SWITCH IN LOCK BOX
 - ㉚ WALL SECTION
 - ㉛ EMERGENCY LIGHTS
 - ㉜ EXIT/ EMERGENCY LIGHT COMBO.
 - ㉝ NOT IN CONTRACT
 - ㉞ NOT IN FIELD
 - ㉟ ABOVE FRESH FLOOR
 - ㊱ SMOKE DETECTOR
 - ㊲ CARBON MONOXIDE DETECTOR
 - ㊳ FIRE ALARM HORN AND STROBE
 - ㊴ EXTERIOR FIRE ALARM HORN AND STROBE
 - ㊵ PULL STATION

APPROVALS

BOARD CHAIRMAN	DATE
BOARD SECRETARY	DATE
CITY ENGINEER	DATE

CONVERT EXISTING
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Tel. 908.591.1357
N.J. LIC. NUMBER: AI016257

1 6-15-2019 Planning Board Submission
No. Date Revision

Key Plan:

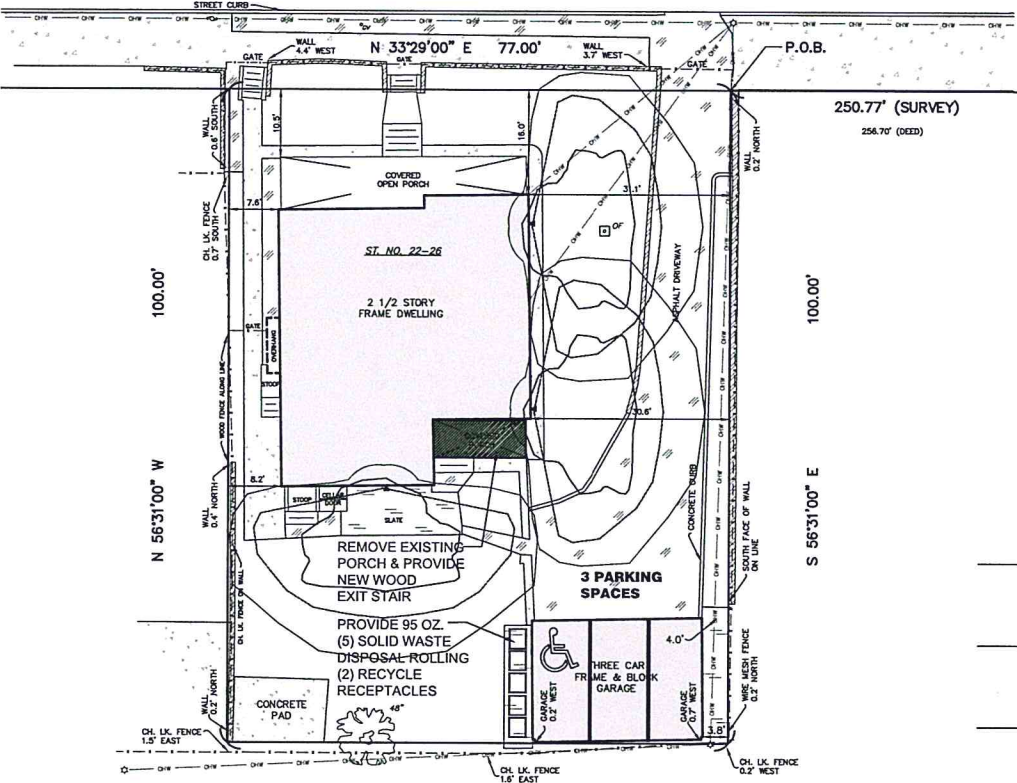
Sheet Title:
TITLE SHEET
Basement
& 1st Floor

Project No: 06172019
Scale: AS SHOWN ON SHEET
Designed: Chris Sanders
Drawn by: Chris Sanders
Checked by: Roderick Watkins
Date: June 17, 2019

Stamp: Drawing No.:

T-1

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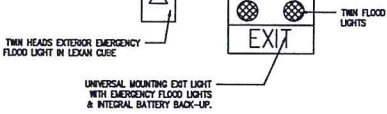


B1 SITE PLAN w/ LIGHTING
SCALE: 1\"/>

CONNECT TO 120/220V LOCAL LIGHTING CIRCUIT
(HEAD OF ANY SWITCHING) FOR CHARGING AND
AREA PROTECTION IN ACCORDANCE WITH
N.E.C. 700-12.

NOTE: IN AREAS WHERE (5) OR MORE GENERAL
LIGHTING CIRCUITS ARE PROVIDED, THE BATTERY
UNITS HAVE DEDICATED CIRCUITS AS PER
700-12 (7) EXCEPTION 1.

NOTE: CONTRACTOR'S OPTION
TO PROVIDE EXIT SIGNS
WITH COMBINATION UNITS AS SHOWN,
OR PROVIDE SEPARATE EMERGENCY
LIGHTS MOUNTED NEXT TO DOOR AND
WIRED IN SIMILAR FASHION.



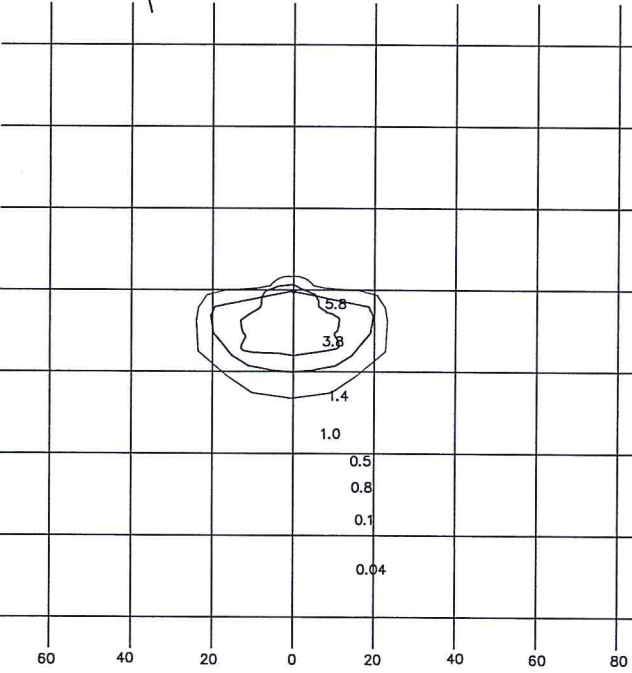
UNIVERSAL MOUNTING EXIT LIGHT
WITH EMERGENCY FLOOD LIGHTS
& INTERNAL BATTERY BACK-UP.

D1 EXIT LIGHT
SCALE: N.T.S.

D2 PICTURE OF EXTERIOR LIGHT
SCALE: N.T.S.

D3 EXTERIOR LIGHT MOUNTING HEIGHT
SCALE: N.T.S.

D4 PHOTOMETRIC FIXTURE LAYOUT
SCALE: N.T.S.



150 WATT HPS
12\"/>

D4 PHOTOMETRIC FIXTURE LAYOUT
SCALE: N.T.S.