



Township of Irvington Department of Public Safety
Office of Fire Chief
Antonio Gary, Fire Chief

January 5th, 2021

Newark City Hall
920 Broad Street
Newark, NJ 07102

Re: Plan Review - 22-26 Coit Street – (Third Review)
Irvington, NJ 07108; Block: 201; Lot: 7

- Inspection letter

To Dorinda Francis-McKenzie, Zoning Board Office & Antonio Gary, Fire Chief

WSM Associates has been hired as the Architect of Record for the job referenced above. In reference to the Memorandum from Antonio Gary, Fire Chief, dated: November 16, 2020.

WSM addressed the concerns of the following:

- Review #1 by removing all basement common areas. The administration will only have the director and any possible workers use the basement area.
- Review #3 concerns - 2 exits in the same quadrant. WSM revised the utility room and provided another remote exit door in the existing pantry room in the most recent revision.
- WSM will be installing a Sprinkler System with Fire Alarm Control Panel & pull stations system throughout the building.
- WSM will also be installing 1 hour rated doors with closers & 1 hr. rated walls to all stairs & passageways to all exits and horns & strobes at each egress way & in each room, which will give the occupants' time to evacuate.
- WSM will also provide a fire department access key at the entrance.

Please call me if you have any questions or concerns.

Sincerely,
WSM Associates, LLC

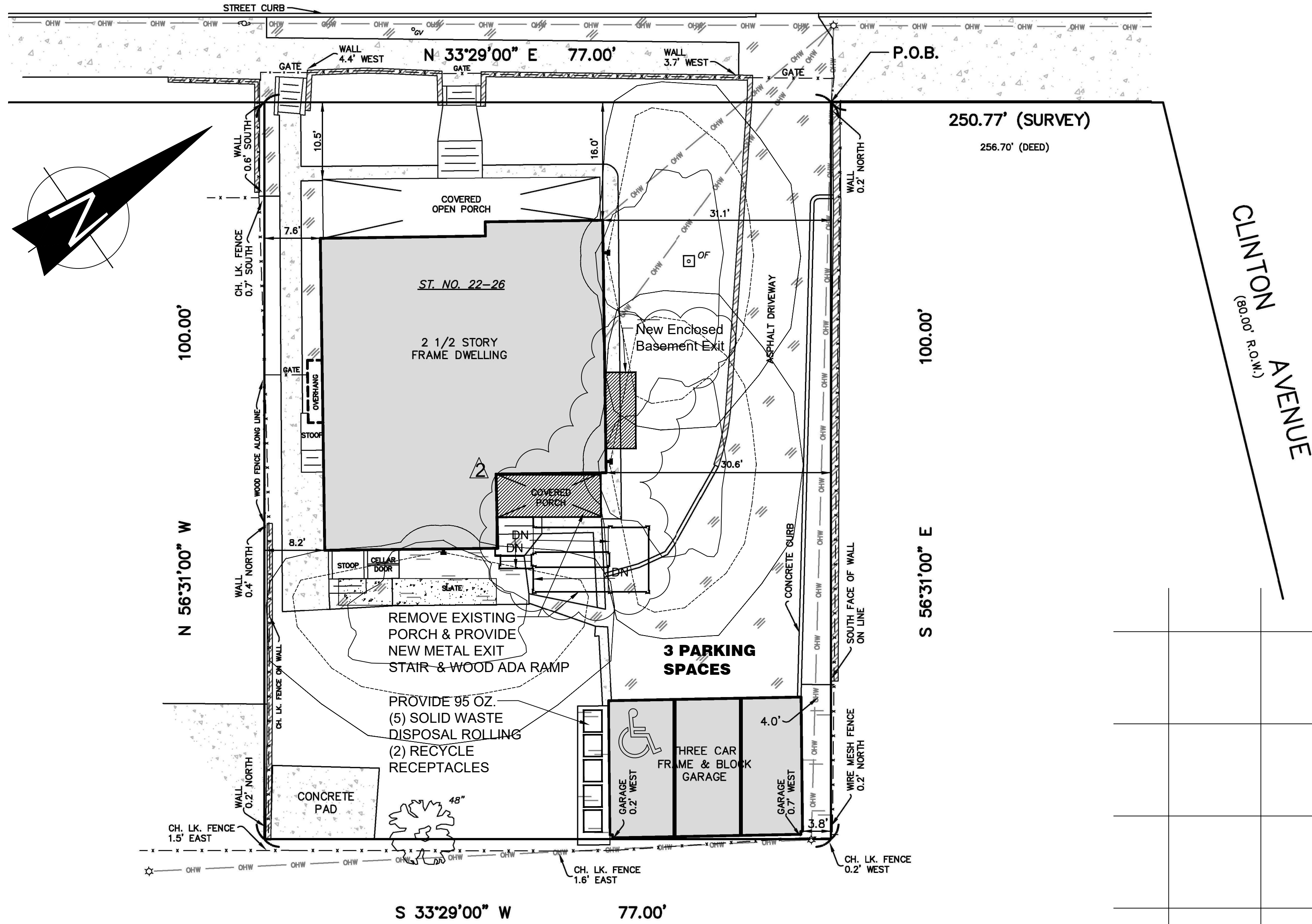
A handwritten signature in black ink, appearing to read "Cecil Sanders", written over a circular stamp or seal.

Project Architect
Cecil Christopher Sanders

Roderick G. Watkins, R.A.
N.J. Lic. Number: AI016257

34 Clinton Street, Newark, New Jersey 07102, 1st Floor • tel 908.591.1357 • fax 973.624.6135 email:
chris.wsm.associates@gmail.com www.wsmassociatesllc.com

Single Family Residence Conversion into
Sunset Boarding Home, LLC
22-26 Coit St., Irvington, NJ
Block: 201 ; Lot:7



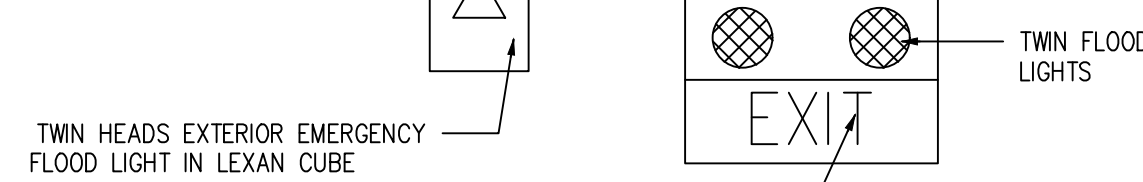
B1 SITE PLAN w/ LIGHTING
SCALE: 1"=10'-0"

Note: survey obtained by owner
completed by licensed landsurveyor

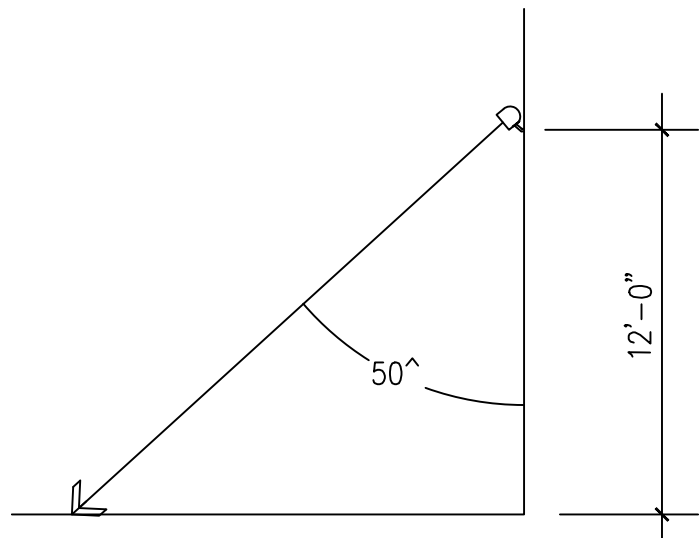
CONNECT TO 120/227V LOCAL LIGHTING CIRCUIT
(AHEAD OF ANY SWITCHING) FOR CHARGING AND
AREA PROTECTION IN ACCORDANCE WITH
N.E.C. 700-12.

NOTE: IN AREAS WHERE (3) OR MORE GENERAL
LIGHTING CIRCUITS ARE PROVIDED, THE BATTERY
UNITS HAVE DEDICATED CIRCUITS AS PER
700-12 (F) EXCEPTION 1.

NOTE: CONTRACTOR'S OPTION
TO PROVIDE EXIT SIGNS
WITH COMBINATION UNITS AS SHOWN,
OR PROVIDE SEPARATE EMERGENCY
LIGHTS MOUNTED NEXT TO DOOR AND
WIRED IN SIMILAR FASHION.



TWIN HEADS EXTERIOR EMERGENCY
FLOOD LIGHT IN LEXAN CUBE



D1 EXIT LIGHT
SCALE: N.T.S

D2 PICTURE OF EXTERIOR LIGHT
SCALE: N.T.S

D3 EXTERIOR LIGHT MOUNTING HEIGHT
SCALE: N.T.S

D4 PHOTOMETRIC FIXTURE LAYOUT
SCALE: NTS

Owner : 22-26 Coit St. Property, LLC (917)687-5001

SCOPE OF WORK:

THE WORK TO BE PERFORMED SHALL BE CLASSIFIED AS:
"REPAIR" IN ACCORDANCE WITH N.J.A.C. 5:23-6.4
"RENOVATION" IN ACCORDANCE WITH N.J.A.C. 5:23-6.5
"ALTERATION" IN ACCORDANCE WITH N.J.A.C. 5:23-6.6.

THE SCOPE OF WORK TO BE DONE IN THIS DOCUMENT IS AS FOLLOWS:
1. DOCUMENT EXISTING CONDITIONS FLOOR PLANS AND SITE PLAN
2. CONVERT EXISTING SINGLE FAMILY RESIDENCE TO BOARDING HOME
3. PROVIDE NEW EXIT FROM THE 3RD FLOOR & EXIT STAIR & ADA RAMP

CODE COMPLIANCE:

ALL WORK SHALL BE IN ACCORDANCE WITH THE NJUCC Subchapter 6
REHAB. SUBCODE (N.J.A.C. 5:23 - 6) AND ALL APPLICABLE REFERENCED SUBCODES.

REFERENCED SUBCODES:

- 2018 INTERNATIONAL BUILDING CODE, NJ EDITION
- ICC/ANSI A117.1-2009; ICC 300-2017 & (N.J.A.C. 5:23-3.14)
- 2017 NATIONAL ELECTRICAL CODE (NFPA 70) & (N.J.A.C. 5:23-3.16)
- 2018 NATIONAL STANDARD PLUMBING CODE (NSPC w/ NJ edits from 3.15)
- 2015 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
(Low Rise Residential) ASHRAE 90.1-2016
(Commercial & all other Residential) (N.J.A.C. 5:23 - 3.18)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC) & (N.J.A.C. 5:23 - 3.20)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC) & (N.J.A.C. 5:23 - 3.22)
All work to be done by licensed & certified plumbing,
electrical and mechanical contractor.

ALL WORK SHALL BE IN ACCORDANCE WITH THE IRC 2018, NJ EDITION
(N.J.A.C. 5:23 - 3.21) AND ALL APPLICABLE REFERENCED SUBCODES.

BULK ZONING REQUIREMENTS - M-2

USE PERMITTED WITH CONDITIONAL USE PERMIT
REQUIRES PLANNING BOARD APPROVAL

SHEET
NUMBER

DRAWING
NUMBER

DRAWING TITLE

1

S-1

SURVEY

2

T-1

COVER SHEET CODE DATA & SITE PLAN w/ LIGHTING

3

A-1

EXISTING PICTURES, BASEMENT & 1ST FLOOR PLANS

4

A-2

2ND & 3RD FLOOR PLANS

5

A-3

ELEVATIONS

BUILDING CODE DATA:

ALL WORK SHALL BE IN ACCORDANCE WITH THE NJUCC REHAB. SUBCODE
(N.J.A.C. 5:23 - 6) AND ALL APPLICABLE REFERENCED SUBCODES.

USE GROUP - I-1 CONDITION 1 - RESIDENTIAL BOARD AND CARE FACILITY
MORE THAN 16 PEOPLE INCLUDING STAFF 24 HOUR BASIS.

- EXISTING USE GROUP: BOARDING HOME
- NUMBER OF STORIES: 3 STORIES w/ BASEMENT
- SPRINKLER: YES
- EXITS: 6 EXITS
- AREA OF WORK: REAR EXIT STAIR & RAMP
- SPECIFIC USE: BOARDING HOME
- CONSTRUCTION CLASSIFICATION: 5B
- MAXIMUM LIVE LOAD: 40 PSF
- MAXIMUM OCCUPANCY LOAD: 23 PERMANENT RESIDENTS
1 OPERATOR
24 TOTAL
- EXISTING PARKING: 3 SPACES ON SITE.

LEGEND

- PENDANT MOUNTED FIXTURE
- FLOURESCENT 1'x4' FIXTURE
- SURFACE MOUNTED INCANDESCENT FIXTURE
- RECESSED INCANDESCENT FIXTURE
- FAN/LIGHT COMBINATION
- WALL MOUNTED LIGHT FIXTURE
- EXTERIOR LIGHT FIXTURE ON SENSOR
- EXISTING WALL TO BE REMOVED
- NEW WALL @ INTERIOR 2x4 WD. STUDS
@ 16" O.C. 5/8" CWB. @ EX. SIDE
- NEW WALL @ EXTERIOR 2x4 WD. STUDS
@ 16" O.C. 5/8" ON INTERIOR 1/2" PLYWD.
@ EXTERIOR 15# BLDG. PAPER, R-13 INSUL.
VINYL SIDING TO MATCH EXISTING
- INFILL WALL SEE WALL TYPES
ABOVE FOR EXTERIOR OR INTERIOR
WALL DESCRIPTIONS
- EXISTING WALL TO REMAIN
- 1 HR RATED WALL 1/2" TYPE "X" GYP. BD. ONE SIDE
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR
- NEW DOOR (SELECTED BY OWNER)
NOTE: ALL INTERIOR DOORS TO BATHROOMS
& BEDROOMS PROVIDE 1" UNDERCUT FOR VENTING
& LOCKSET HARDWARE
- N.I.C. NOT IN CONTRACT
V.I.F. VERIFY IN FIELD
A.F.F. ABOVE FINISH FLOOR
CJ CONTROL JOINT
- EXISTING SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- COMBINATION
CARBON MONOXIDE DETECTOR
AND SMOKE DETECTOR
- HEAT DETECTOR
- NEW ELECTRICAL CONDUIT
- NEW ELECTRICAL RECEPTACLE
MOUNT @ 12" A.F.F.
- GROUND FAULT INTERRUPTER RECEPTACLE
MOUNT BATHROOM GFI @ 38" A.F.F.
MOUNT KITCHEN GFI @ 48" A.F.F.
(WALL HT. 12" AFF)
- SINGLE LIGHT SWITCH
- TRIPLE LIGHT SWITCH
- TRIPLE LIGHT SWITCH IN LOCK BOX
- WALL SECTION
- EMERGENCY LIGHTS
- EXIT/ EMERGENCY LIGHT COMBO.
- N.I.C. NOT IN CONTRACT
V.I.F. VERIFY IN FIELD
A.F.F. ABOVE FINISH FLOOR
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- FIRE ALARM HORN AND STROBE
- EXTERIOR FIRE ALARM HORN AND STROBE
- PULL STATION

APPROVALS

BOARD CHAIRMAN	DATE
BOARD SECRETARY	DATE
CITY ENGINEER	DATE

CONVERT EXISTING
SINGLE FAMILY
RESIDENCE INTO A
ADULT BOARDING HOME

Tax Lot - 7; Block - 201
22-26 Coit Street,
Irvington Twp., Essex County,
New Jersey 07111

wsm
ASSOCIATES
www.wsmassociatesllc.com

Roderick G. Watkins, Architect
40 Clinton Street, Suite 300
Newark, Essex County,
New Jersey 07102

Tel. 1908.591.1357
N.J. LIC. NUMBER: AI016257

2 Revision 2-24-2020

No.	Date	Revision
1	6-17-2019	Planning Board Submission

Key Plan:

Sheet Title:

TITLE SHEET
Basement
& 1st Floor

Project No:	06172019
Scale:	AS SHOWN ON SHEET
Designed:	Chris Sanders
Drawn by:	Chris Sanders
Checked by:	Roderick Watkins
Date:	June 17, 2019

Stamp:

Drawing No.:

T-1

CONVERT EXISTING
 SINGLE FAMILY
 RESIDENCE INTO A
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Key Plan:

Sheet Title:

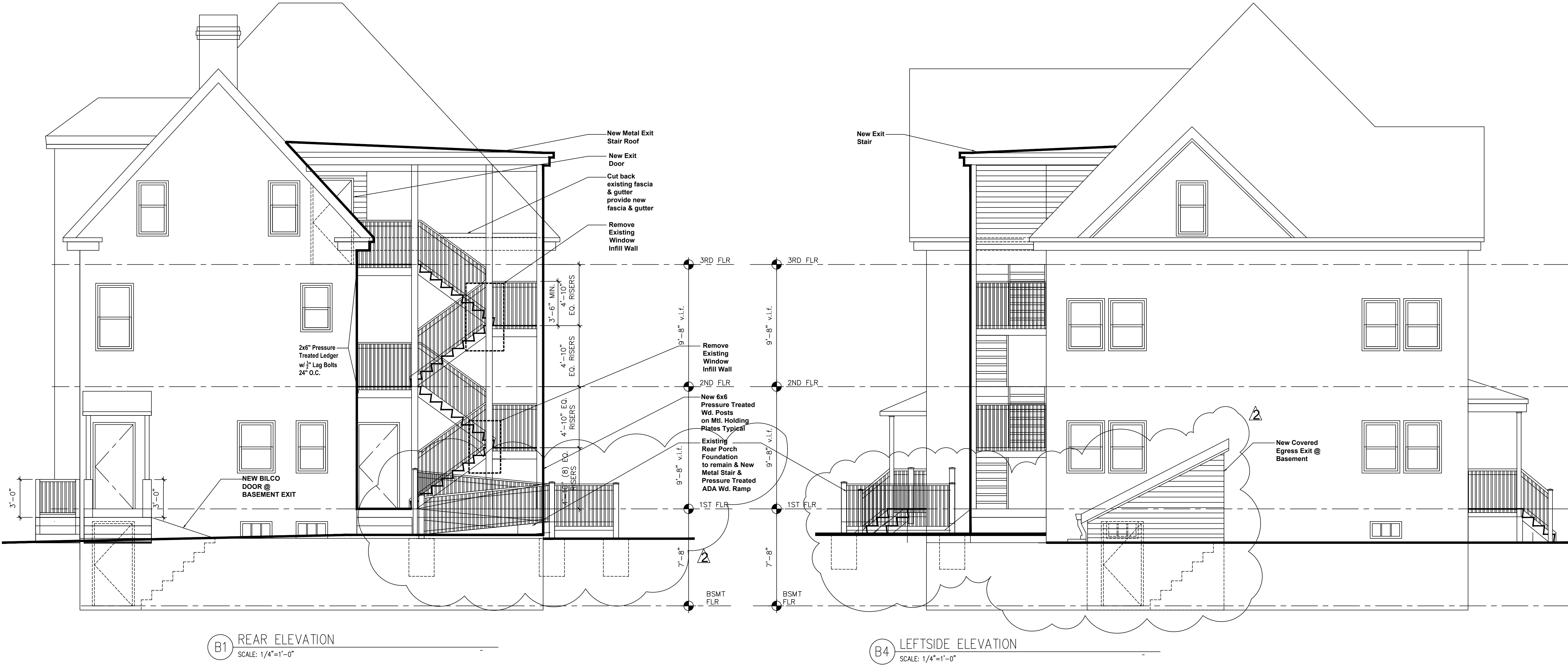
Elevations

Project No:	06172019
Scale:	AS SHOWN ON SHEET
Designed:	Chris Sanders
Drawn by:	Chris Sanders
Checked by:	Roderick Watkins
Date:	June 17, 2019

Stamp:

Drawing No.:

A-3



B4 LEFTSIDE ELEVATION
 SCALE: 1/4"=1'-0"

B1 REAR ELEVATION
 SCALE: 1/4"=1'-0"

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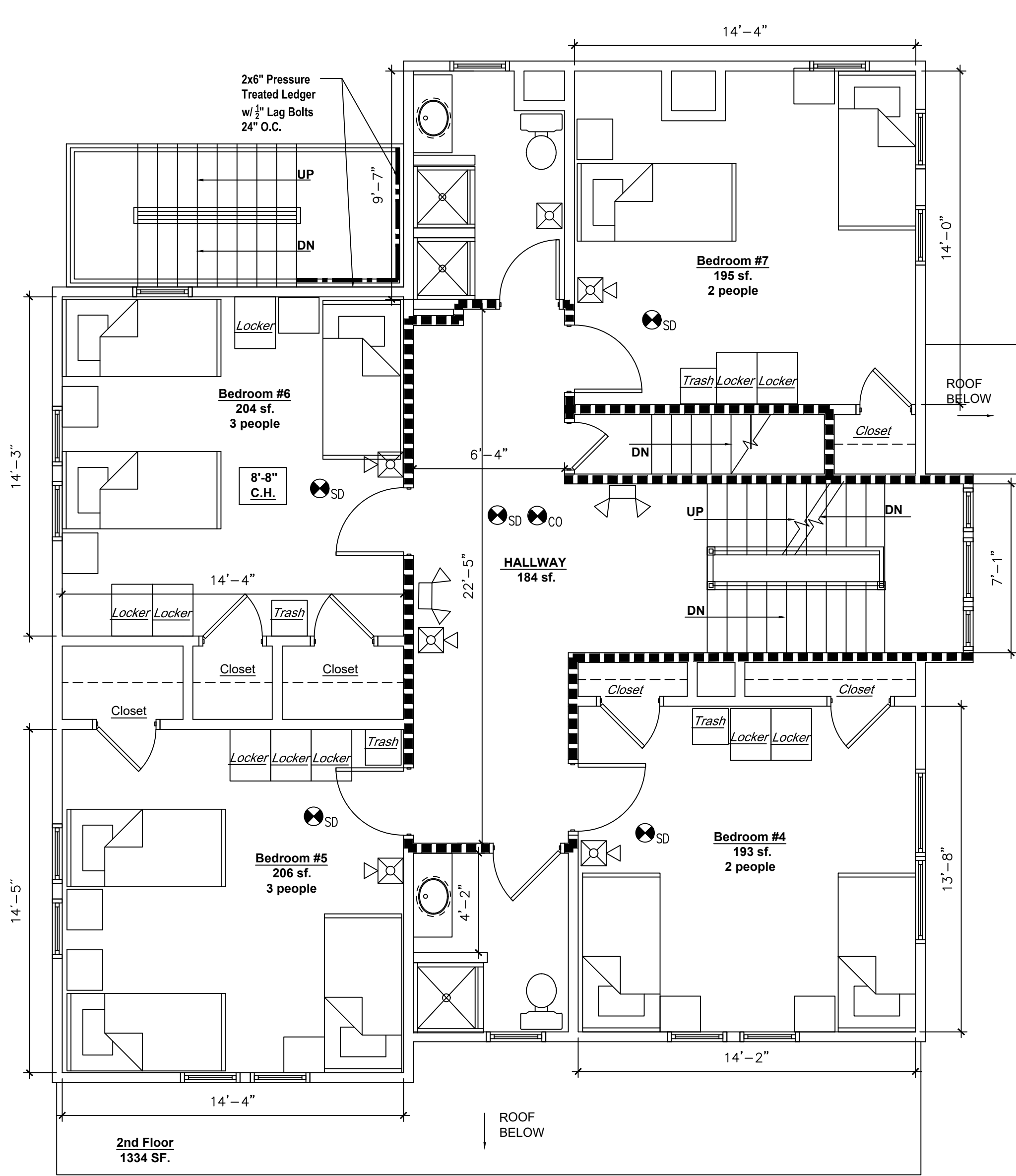
Key Plan:

Sheet Title:

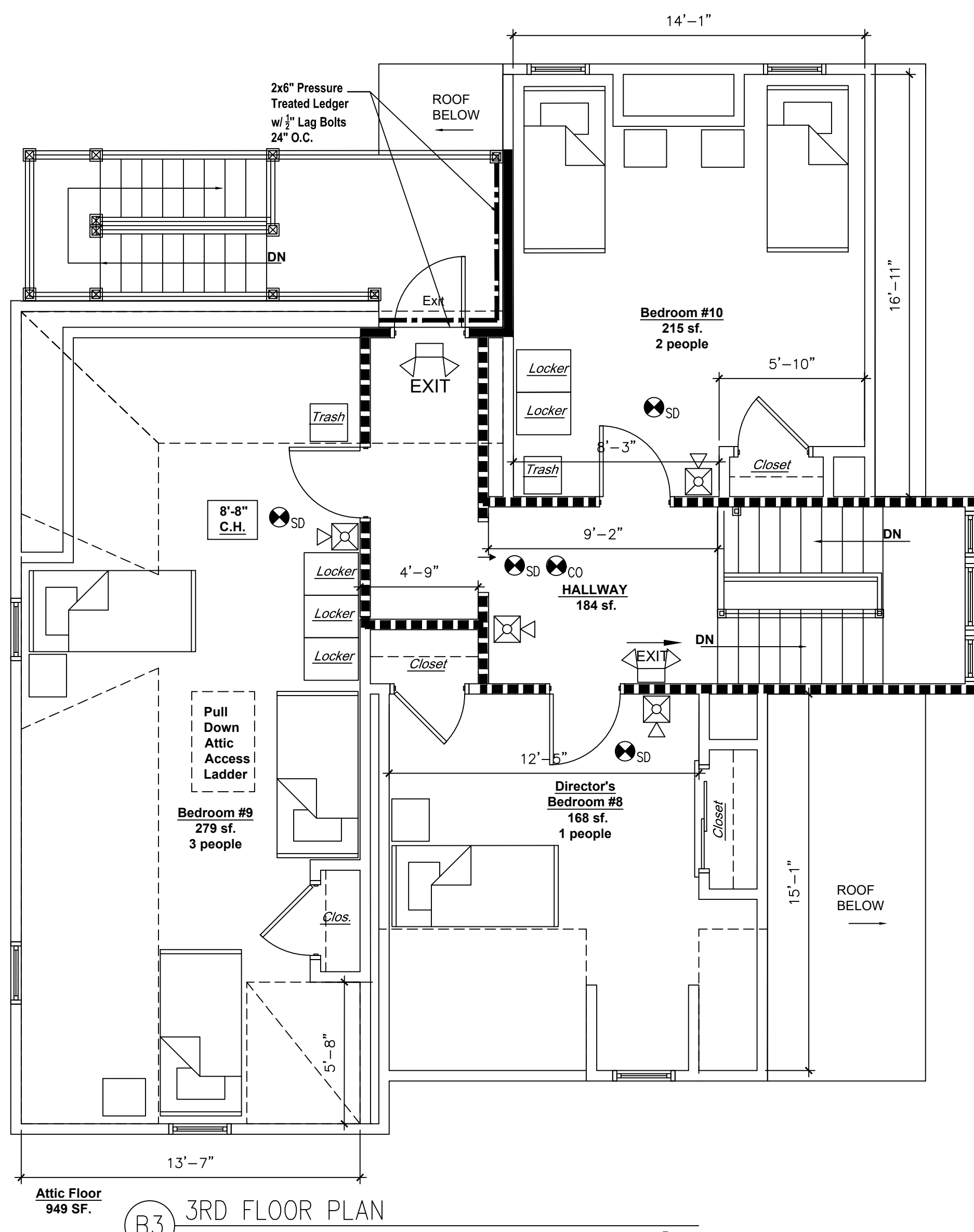
2nd & 3rd Floor Plans	
Project No:	06172019
Scale:	AS SHOWN ON SHEET
Designed:	Chris Sanders
Drawn by:	Chris Sanders
Checked by:	Roderick Watkins
Date:	June 17, 2019

Stamp: Drawing No.:

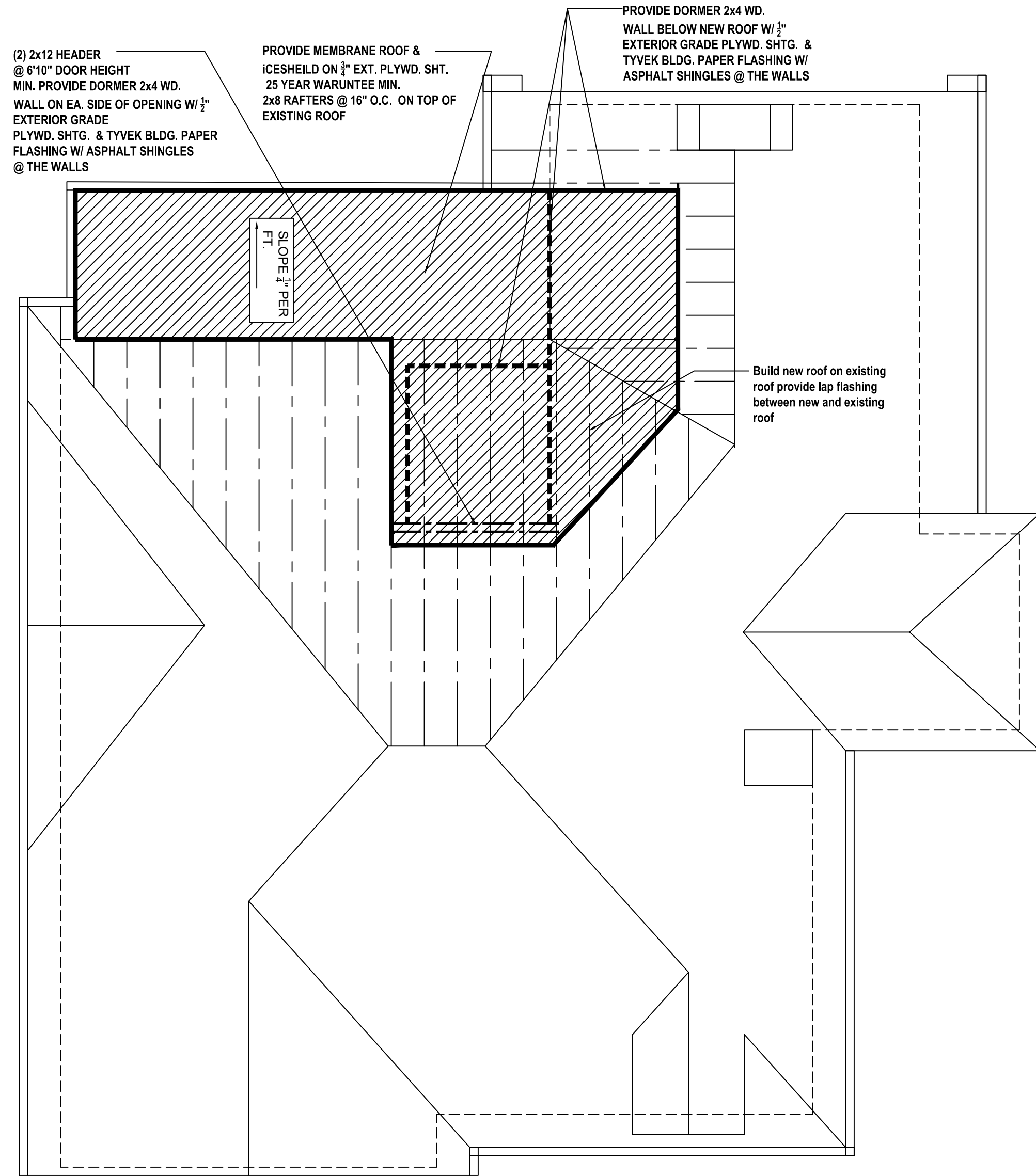
A-2



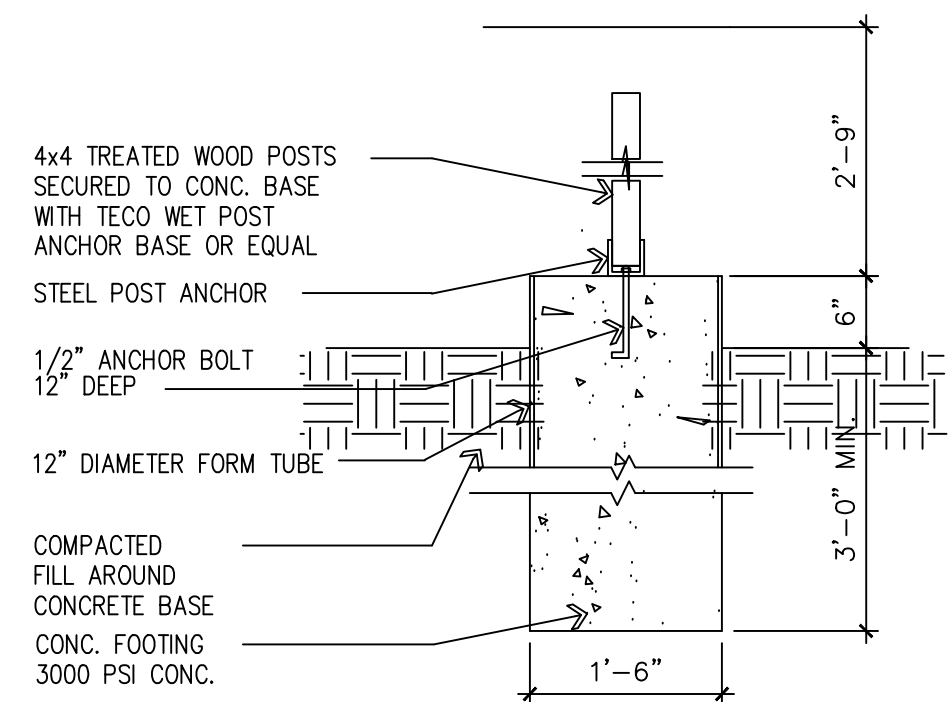
B1 2ND FLOOR PLAN
 SCALE: 1/4"=1'-0"



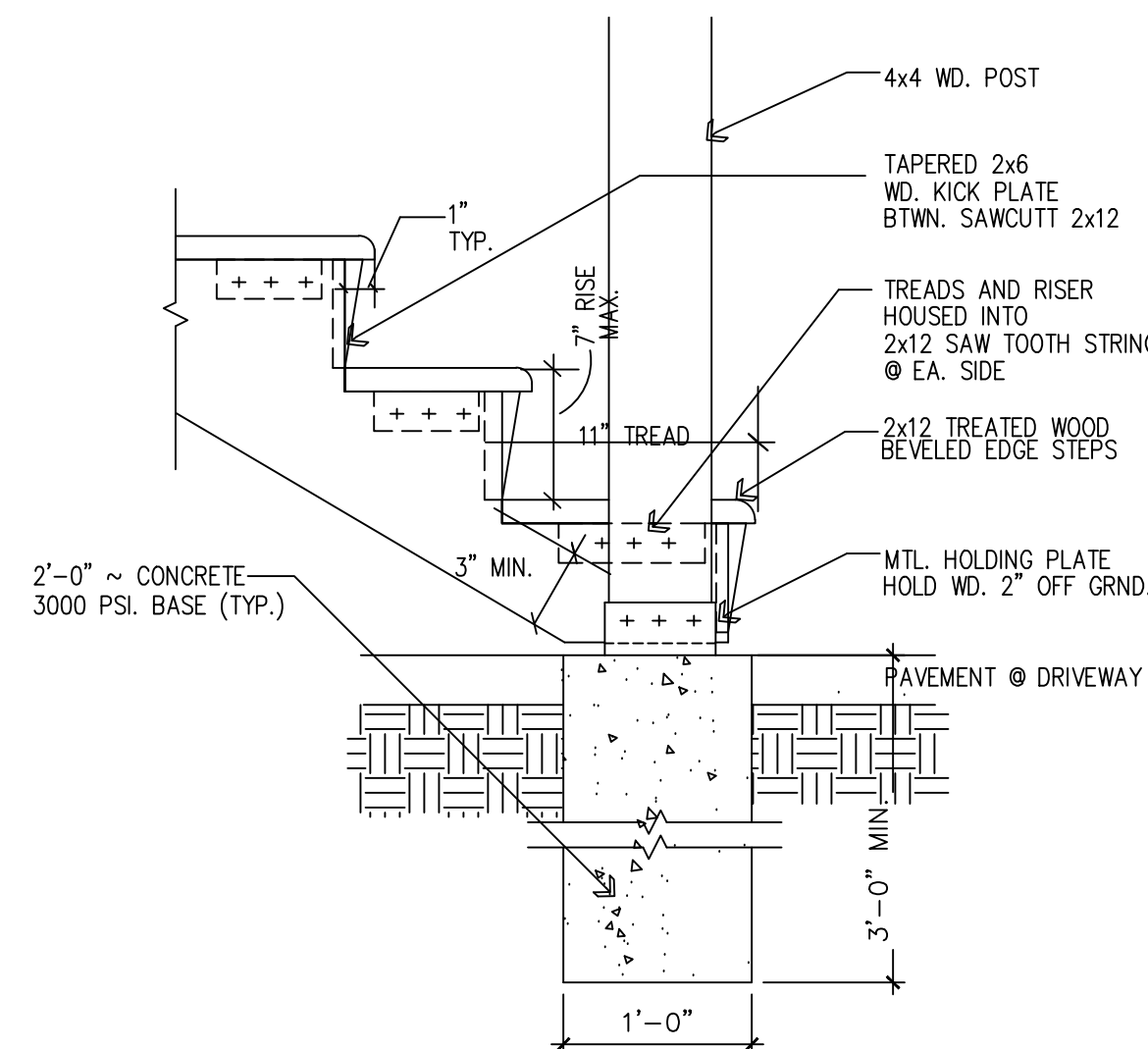
B3 3RD FLOOR PLAN
 SCALE: 1/4"=1'-0"



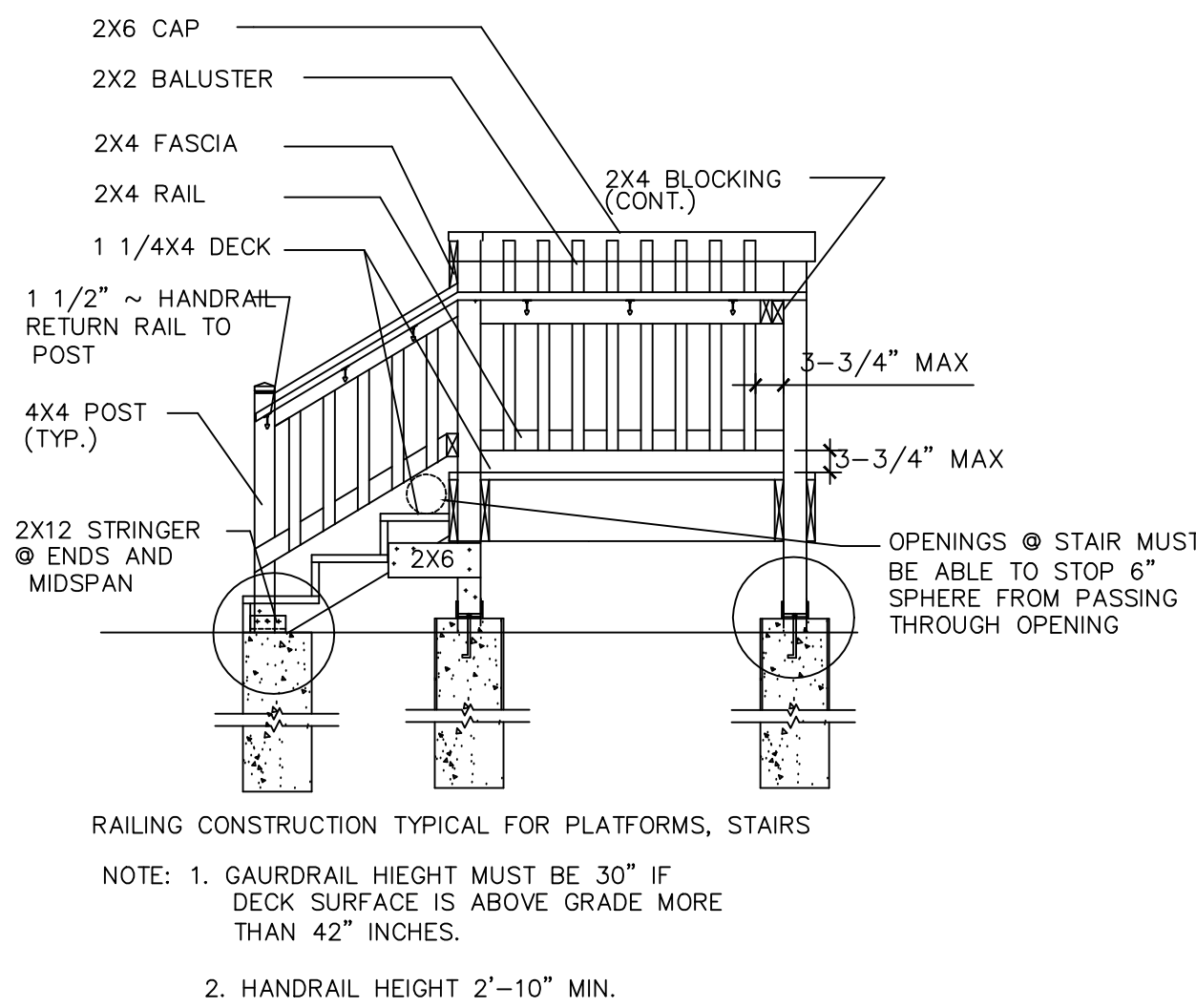
B4 ROOF PLAN
 SCALE: 1/4"=1'-0"



D3 NEW STAIR FTG. DETAIL
 SCALE: 1/4"=1'-0"



D4 DETAIL @ NEW STAIR
 SCALE: 1/4"=1'-0"



D5 TYPICAL WD. STAIR DETAIL
 SCALE: 1/4"=1'-0"



A1 EXISTING PICTURES OF FRONT ELEVATION
SCALE: N.T.S.



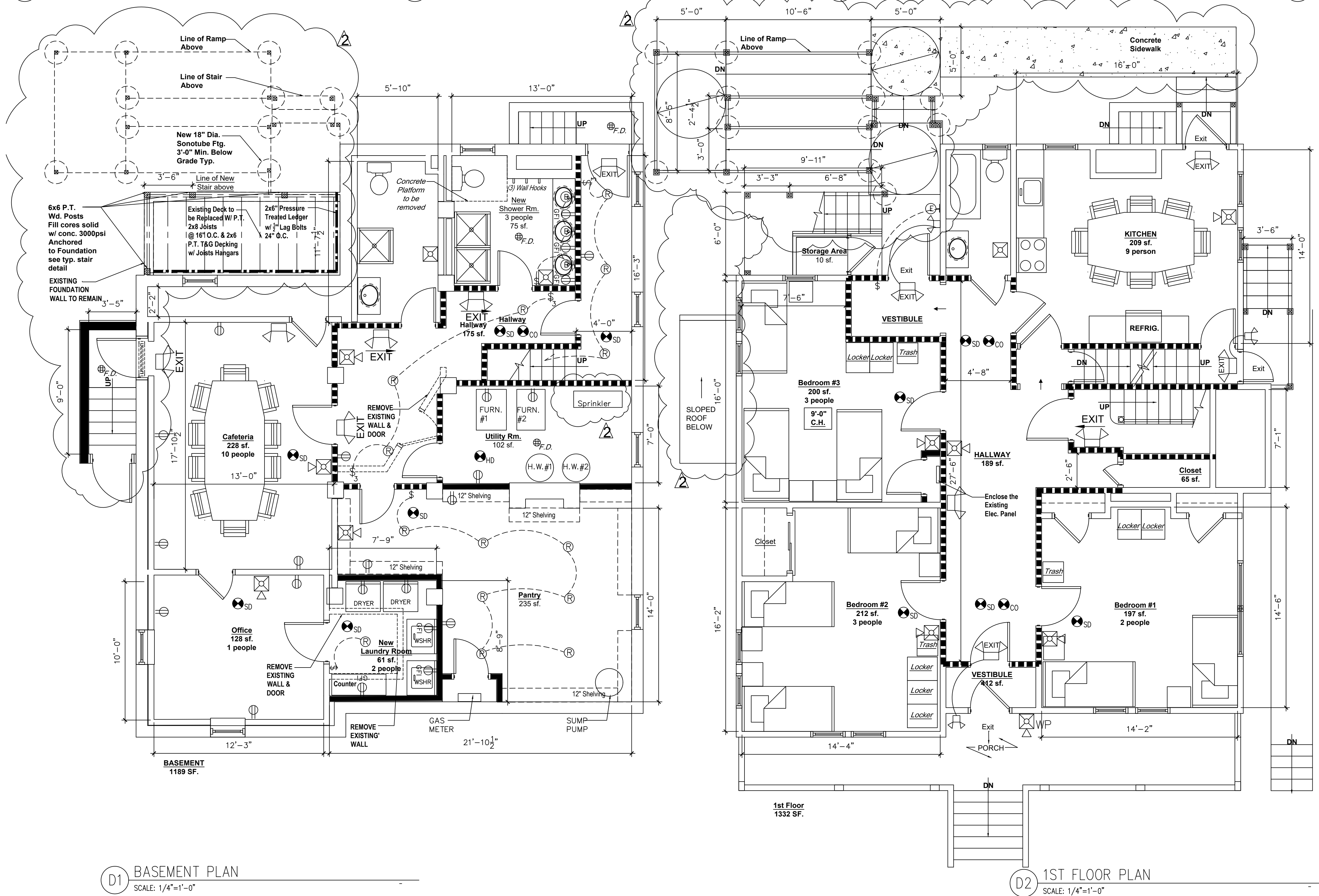
A2 EXISTING PICTURES OF REAR ELEVATION
SCALE: N.T.S.



A3 EXISTING PICTURES OF LEFT ELEVATION
SCALE: N.T.S.



A4 EXISTING PICTURES OF RIGHT ELEVATION
SCALE: N.T.S.



D1 BASEMENT PLAN
SCALE: 1/4"=1'-0"

D2 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

Occupants
1st Floor: 8 Residents
2nd Floor: 10 Residents
3rd Floor: 5 Residents
w/ 1 Operator
Total = 24

**CONVERT EXISTING
SINGLE FAMILY
RESIDENCE INTO A
ADULT BOARDING HOME**

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2 Revision 2-24-2020

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Key Plan:

Sheet Title:
**Existing Pictures,
Basement & 1st
Floor Plans**

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